

CHAPTER 2 ZONING DISTRICTS AND USES

2.01.00 GENERALLY¹

2.01.01 Purpose

It is the intent and purpose of this Chapter to establish and adopt zoning districts to govern the use of land and water in the unincorporated areas of Collier County, Florida.

2.01.02 Miscellaneous structures

School bus shelters, bicycle racks, bus stop benches, telephone booths, mailboxes, newspaper boxes, and delivery boxes shall be permitted in any district. No advertising **sign** shall be permitted on any such **structure**. Locations and **setbacks** of school bus shelters shall be approved by the school board of Collier County. Mail, newspaper, and other delivery boxes shall be placed in accordance with U.S. Postal Service regulations. All such **structures** shall be exempt from district **setbacks**.

2.01.03 Essential Services

Essential services are hereby defined as services designed and operated to provide water, sewer, gas, telephone, electricity, cable television or communications to the general public by providers which have been approved and authorized according to laws having appropriate jurisdiction, and government facilities. **Essential services** are allowed in any zoning district subject to the following conditions:

- A. The following uses shall be deemed permitted uses in all zoning districts, except **CON districts, RFMU sending lands, NRPAS, HSAS, and FSAS**:
 1. Water lines and sewer lines;
 2. Natural gas lines, except those associated with **oil extraction and related processing** operations as defined in this Code and regulated under applicable federal and state law;
 3. Telephone lines, telephone switching stations, and cable television lines;
 4. Communication **towers**, limited to those providing wireless emergency telephone service, subject to all applicable provisions in section 5.05.09 of this Code;
 5. Electrical transmission and distribution lines, substations, and emergency power **structures**;
 6. Sewage lift stations and water pumping stations;
 7. **Essential service** wells (including extraction facilities and requisite ancillary facilities);

¹Editor's note(s)—Ord. No. 10-23, § 3.D, adopted June 8, 2010, repealed 2.01.00Editor's note(s)—. This amendment would take effect upon the repeal of Ord. No. 08-64. Said Ordinance was repealed by Ord. No. 10-26 which became effective on June 25, 2010.

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8. Any other wells which have been or will be permitted by the South Florida Water Management District or the Florida Department of Environmental Protection either prior to or subsequent to the effective date of this ordinance, or if the respective well and/or well related facility is otherwise required to be installed or constructed by law. If any proposed well is a Collier County owned well under the permitting jurisdiction of a Florida agency, staff, early in the County's well permit application process, shall post **sign(s)** at the County's proposed well site(s) and shall provide written notice that the county has applied for a required well permit to property owners within 300 feet of the property lines of the **lots** or **parcels** of land on which the applied-for well is being sought by the County, including, if applicable, the times and places of the permitting agency's scheduled public hearings; and
 9. **Conservation Collier lands** which provide for permitted nondestructive, passive natural resource based recreational and educational activities, exclusive of major improvements. Permitted minor improvements shall be limited to one (1) **ground sign**, not to exceed eight (8) feet in height with a maximum **sign area** of thirty-two (32) square feet; a parking area, not to exceed twenty (20) parking spaces; hiking trails; a fully accessible trail or trail section; educational kiosks not to exceed one hundred (100) square feet; and public restroom facilities not to exceed five hundred (500) square feet. The provisions for **Conservation Collier lands** in this Code do not affect the underlying zoning districts or land use designations in any district where **Conservation Collier lands** are established. Such that no expansion or diminution of the various zoning district permitted uses is intended or implied by these provisions, except as stated above with respect to minor improvements. **Oil and gas exploration** as defined and regulated in this Code remains a permitted use on or beneath **Conservation Collier lands** established in any zoning district providing for **oil and gas exploration** as a permitted use pursuant to subsection 2.03.09 B.1.a.viii.
- B. Permitted **essential services** in **CON districts**, RFMU sending lands, NRPAs, HSAs, and FSAs.
1. Within **CON districts**, Sending Lands in the **RFMU district**, NRPAs, and within designated Habitat Stewardship Areas (HSA) and Flow way Stewardship Areas (FSA) within the RLSA overlay district subject to the limitations set forth in section 4.08.08 C., the following **essential services** are permitted:
 - a. Private wells and septic tanks;
 - b. Utility lines, except sewer lines;
 - c. Sewer lines and lift stations, only if located within already cleared portions of existing **rights-of-way** or easements, and necessary to serve a publicly owned or privately owned central sewer system providing service to urban areas; or the Rural Transition Water and Sewer District, as delineated on the Urban-Rural Fringe Transition Zone Overlay Map in the Future Land Use Element of the GMP; and,
 - d. Water pumping stations necessary to serve a publicly owned or privately owned central water system providing service to urban areas; or the Rural Transition Water and Sewer District, as delineated on the Urban-Rural Fringe Transition Zone Overlay Map in the Future Land Use Element of the GMP.
 - e. **Conservation Collier lands** which provide for permitted nondestructive, passive natural resource based recreational and educational activities, exclusive of major improvements. Permitted minor improvements shall be limited to one (1) **ground sign**, not to exceed eight (8) feet in height with a maximum **sign area** of thirty-two (32) square feet; a parking area, not to exceed twenty (20) parking spaces; hiking trails; a fully accessible trail or trail section; educational kiosks not to exceed one hundred (100) square feet; and public restroom facilities not to exceed five hundred (500) square feet. The provisions for **Conservation Collier lands** in this Code do not affect the underlying zoning districts or land

use designations in any district where **Conservation Collier lands** are established, such that no expansion or diminution of the various zoning district permitted uses is intended or implied by these provisions, except as stated above for minor improvements. **Oil and gas exploration** as defined and regulated in this Code remains a permitted use on or beneath **Conservation Collier lands** established in the CON zoning district providing for **oil and gas exploration** as a permitted use subject to subsection 2.03.09 B.1.a.viii.

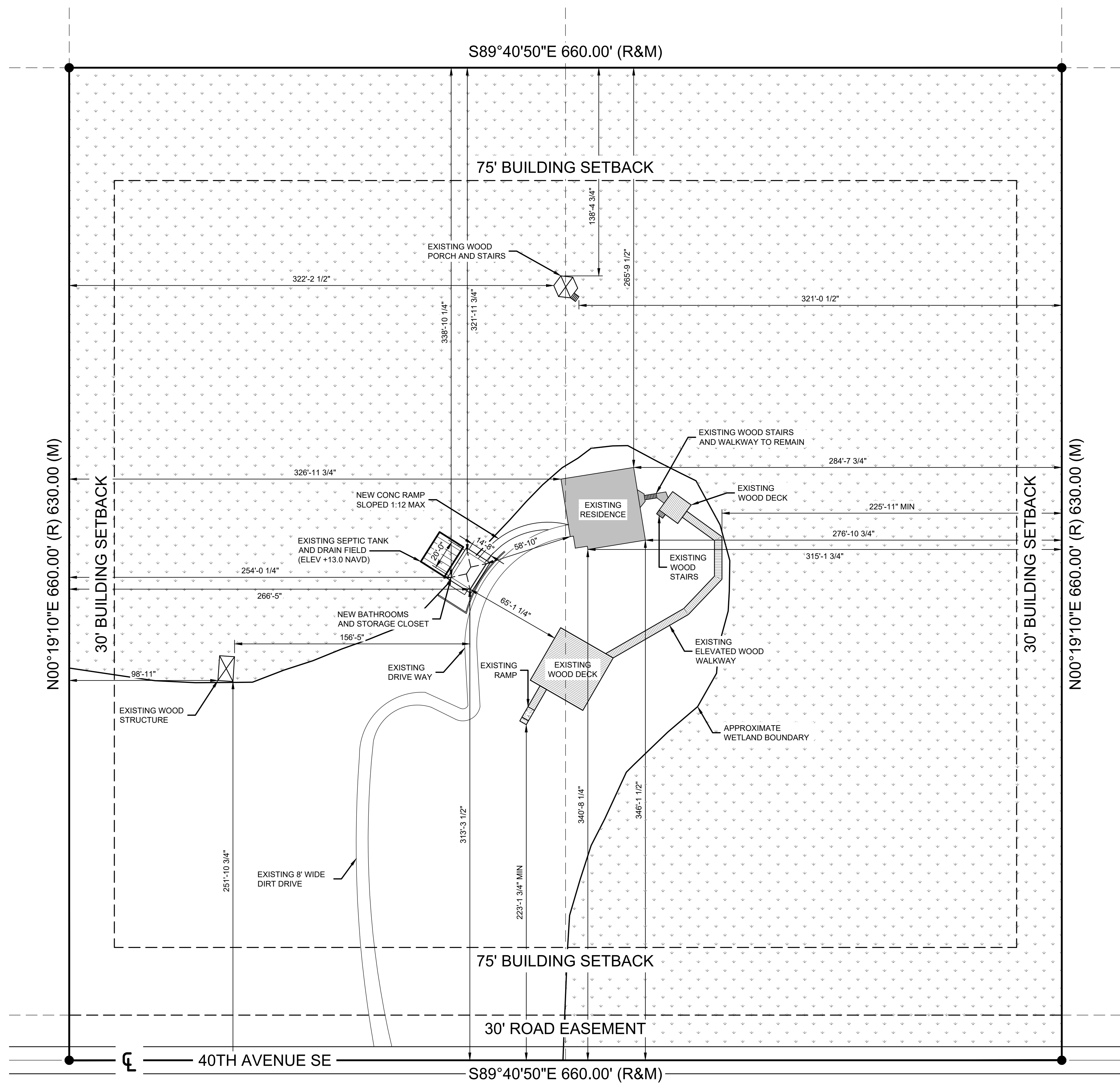
- f. Aviation related uses as approved in the September 11, 2001 Memorandum of Understanding between Collier County Airport Authority and the Intervenor Signatories to the Deltona Settlement Agreement (July 20, 1982), including The Conservancy of Southwest Florida, The National Audubon Society, The Florida Audubon Society, The Environmental Defense Fund, Izaak Walton League, Florida Division, The Florida Department of Environmental Protection, The South Florida Water Management District, The Florida Department of Community Affairs, The Deltona Corporation, and Collier County.
- C. Additional permitted **essential services** in commercial and industrially zoned districts. In commercial and industrially zoned districts, in addition to the **essential services** identified above in section 2.01.03 A., governmental facilities, as defined by this Code, including law enforcement, fire, emergency medical services and facilities, public park and public library services and facilities, shall be considered a permitted essential service.
- D. Additional permitted **essential services** in the agricultural and estate zoned districts. In the agricultural and estate zoned districts, in addition to the **essential services** identified above in section 2.01.03 A., the following governmental services and facilities shall be considered permitted **essential services**: nonresidential not-for-profit child care, nonresidential education facilities, libraries, museums, **neighborhood parks**, and recreational service facilities.
- E. Additional permitted **essential services** in the agricultural zoned district. In the agricultural zoned district, in addition to the **essential services** identified above in section 2.01.03 A., safety services, and other government services, necessary to promote and protect public health, safety and welfare are permitted **essential services**, limited to the following: law enforcement, fire, and emergency medical services.
- F. Additional permitted **essential services** in residentially zoned districts. In residentially zoned districts, in addition to the **essential services** identified above in section 2.01.03 A., **neighborhood parks** shall be considered a permitted essential service.
- G. **Conditional uses.** The following uses require approval pursuant to section 10.08.00**conditional uses**:
 - 1. Conditional **essential services** in every zoning district excluding the **RFMU district** sending lands, **CON districts**, NRPA's, and RLSA designated HSAs and FSAs. In every zoning district, unless otherwise identified as permitted uses, and excluding **RFMU district** Sending Lands, **CON districts**, and NRPA's, the following uses shall be allowed as **conditional uses**:
 - a. Electric or gas generating plants;
 - b. Effluent tanks;
 - c. Major re-pump stations sewage treatment plants, including percolation ponds, and water aeration or treatment plants,
 - d. **Hospitals** and hospices;
 - e. Government facilities, including where not identified as a permitted use in this section, safety service facilities such as including law enforcement, fire, emergency medical services; and

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- f. **Conservation Collier lands** which provide for permitted, nondestructive, passive natural resource based recreational and educational activities, when such sites require major improvements to accommodate public access and use. These major improvements shall include, but are not limited to: parking areas of 21 parking spaces or more; nature centers; equestrian paths; biking trails; canoe and kayak launch sites; public restroom facilities, greater than 500 square feet; signage beyond that allowed in sections 2.01.03 A.9. and 2.01.03 B.1.e. of this Code and other nondestructive passive recreational activities as identified by the County Manager or designee. The provisions for **Conservation Collier lands** in this Code do not affect the underlying zoning districts or land use designations in any district where **Conservation Collier lands** are established, such that no expansion or diminution of the various zoning district **conditional uses** is intended or implied by these provisions, except as stated above for major improvements. **Oil and gas field development and production** as defined and regulated in this Code remains a **conditional use** on or beneath **Conservation Collier lands** established in zoning districts providing for **oil and gas field development and production** as a **conditional use**, subject to subsection 2.03.09 B.1.c.i.
2. Conditional essential services in RFMU sending lands, NRPAs, CON districts, and RLSA designated HSAs and FSAs. Within RFMU District Sending Lands, NRPAs, CON districts, and the RFLA designated HSAs and FSAs subject to the limitations set forth in LDC section 4.08.05 H.3, the following additional essential services are allowed as conditional uses:
- a. Sewer lines and lift stations necessary to serve a publicly owned or privately owned central sewer system providing service to urban areas; or the Rural Transition Water and Sewer District, as delineated on the Urban-Rural Fringe Transition Zone Overlay Map in the Future Land Use Element of the GMP, when not located within already cleared portions of existing rights-of-way or easements;
 - b. Safety Services limited to law enforcement, fire, and emergency medical services; and
 - c. **Oil and gas field development and production**, as defined and regulated in this Code, remains a conditional use on or beneath **Conservation Collier lands** established in the CON zoning district subject to subsection 2.03.09 B.1.c.i.
3. Additional **conditional uses** in residential, and estate zoned districts, and in RFMU receiving and **neutral lands**. In residential, agricultural, and estate zoned districts and in RFMU Receiving and **neutral lands**, in addition to those **essential services** identified as **conditional uses** in section 2.01.03 G.1. above, the following **essential services** shall also be allowed as **conditional uses**:
- a. Regional parks and community parks;
 - b. Public parks and public library facilities;
 - c. Safety service facilities;
 - d. Other similar facilities, except as otherwise specified herein.
4. Additional conditional uses in the RFMU sending lands and CON districts. The following essential services shall be allowed as conditional uses:
- a. Communications towers, subject to all applicable provisions of LDC section 5.05.09.
5. **Conditional uses** that include the installation of **structures**:
- a. Where **structures** are involved other than **structures** supporting lines or cables, such **structures** shall comply with the regulations for the district in which they are located, or as may be required on an approved site **development** plan under section 10.02.03. In

addition, the **structures** shall conform insofar as possible to the character of the district in which they are located as to **development** standards, as well as architecture and landscaping, with utilization of screening and **buffering** to ensure compatible with the surrounding and nearby existing and future uses.

- b. Within the **RFMU district** sending lands, NRPA's, Conservation Districts, and the RLSA HSAs and FSAs, **structures** supporting the conditional use shall be located so as to minimize any impacts on **native vegetation** and on wildlife and wildlife habitat.
- c. **Essential services** shall not be deemed to include the erection of **structures** for commercial activities such as sales or the collection of bills in districts from which such activities would otherwise be barred. Unstaffed billing services, which are **accessory uses** to the normal operations of the essential service, may be permitted.

(Ord. No. 04-72, § 3.C; Ord. No. 06-07, § 3.D; Ord. No. 08-11, § 3.B; Ord. No. 12-25, § 3; Ord. No. 19-08, § 3.A)



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY ROBIN W. STEPHAN ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES. THE SEAL IS FOR STRUCTURAL ASPECTS ONLY.

ROBIN W. STEPHAN
LICENSE
No 66525
STATE OF
FLORIDA
PROFESSIONAL ENGINEER
Robin W. Stephan, P.E.
PE # 66525

CONSULTANT:
ALAIR

**CYPRESS COVE
BATHROOM**
4261 40TH AVE SE NAPLES, FLORIDA 34117

NO.	REVISIONS	DESCRIPTION	DATE
1	REVISE DRAWINGS FOR FCC 2020		02.17.2021
2	ADD SITE PLAN DIMENSIONS AND FINISHED FLOOR ELEVATIONS		03.25.2021

PER MAP OF BOUNDARY SURVEY:
FLOOD ZONE AH
BASE FLOOD ELEV +11.5' NAVD

- NOTES:
- SITE PLAN CREATED USING MAP OF BOUNDARY SURVEY BY ONLINELAND SURVEYORS, INC., SURVEY CODE O-52447 DATED 6/7/2019.
 - WETLAND BOUNDARY LOCATION PROVIDED BY TROPICAL ENVIRONMENTAL CONSULTANTS, LLC, SITE PID # 41501440005, INSPECTION DATE 12/09/2019.
 - SEE BOUNDARY SURVEY AND INFORMAL WETLAND DETERMINATION FIELD INSPECTION AND DATA REPORT FOR ADDITIONAL INFORMATION. ALL DIMENSIONS AND WETLAND BOUNDARY LOCATIONS SHOWN SHALL BE FIELD VERIFIED.
 - PROVIDE SILT FENCING TO PROTECT WETLANDS IN AREAS WHERE CONSTRUCTION WILL OCCUR NEAR WETLANDS BOUNDARY. SILT FENCING SHALL REMAIN UNTIL DISTURBED UPLAND IS STABILIZED OR AS RECOMMENDED BY LOCAL, STATE AND / OR FEDERAL AGENCIES.

LEGEND:
 UPLAND
 WETLAND

ADDED DIMENSIONS TO BATHROOM STRUCTURE

EXISTING SURVEY WITH NEW BATHROOMS
SCALE: 1" = 40'

DRAWN BY:	OQ
CHECKED BY:	RS
DATE:	12.01.2020
JOB NO:	20131

SHEET TITLE:
EXISTING SURVEY AND PROPOSED SITE PLAN
SHEET:
SP1

THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED THEREIN IS AN INSTRUMENT OF PROFESSIONAL SERVICE AND NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF THE ENGINEER OF RECORD.

GENERAL STRUCTURAL NOTES

DIVISION 1

CODE REQUIREMENTS: THE BUILDING STRUCTURE IS DESIGNED IN ACCORDANCE WITH THE 7TH EDITION OF THE FLORIDA BUILDING CODE (FBC 2020). FOLLOW ALL APPLICABLE PROVISIONS FOR ALL PHASES OF CONSTRUCTION. SEE CHAPTER 35 OF THE FLORIDA BUILDING CODE FOR THE LIST OF ALL REFERENCED STANDARDS.

GENERAL: ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE TYPICAL AND APPLY TO ANY SIMILAR SITUATIONS ELSEWHERE EXCEPT AS OTHERWISE INDICATED. ADAPT REQUIREMENTS OF DETAILS, SECTIONS, PLANS, AND NOTES AT ALL LOCATIONS AT WHICH CONDITIONS ARE SIMILAR.

STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH JOB SPECIFICATIONS AND ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND SITE DRAWINGS. CONSULT THESE DRAWINGS FOR SLEEVES, DEPRESSIONS, AND OTHER DETAILS NOT SHOWN ON STRUCTURAL DRAWINGS.

CONTRACTOR TO LOCATE ALL BURIED UTILITY PIPES PRIOR TO THE EXCAVATION FOR THE BUILDING FOUNDATIONS. THE STRUCTURAL ENGINEER SHALL BE NOTIFIED OF POTENTIAL CONFLICTS BETWEEN THE FOUNDATIONS AND THE BURIED UTILITY PIPES.

TEMPORARY CONDITIONS: THE STRUCTURAL INTEGRITY OF THE COMPLETED STRUCTURE DEPENDS ON INTERACTION OF VARIOUS CONNECTED COMPONENTS. PROVIDE ADEQUATE BRACING, SHORING, AND OTHER TEMPORARY SUPPORTS AS REQUIRED TO SAFELY COMPLETE THE WORK. THE STRUCTURE SHOWN ON THE DRAWINGS HAS BEEN DESIGNED FOR STABILITY UNDER FINAL CONFIGURATION ONLY.

RETAINING WALLS WHICH TIE TO UPPER SLABS SHALL NOT BE BACKFILLED UNTIL THE UPPER SLABS REACH FULL STRENGTH, UNLESS ADEQUATE BRACING IS PROVIDED AT THE TOP OF THE WALL.

ASSUMED FUTURE CONSTRUCTION:

VERTICAL: NONE
HORIZONTAL: NONE

DESIGN CRITERIA: DESIGN WAS BASED ON STRENGTH AND DEFLECTION CRITERIA OF THE LATEST EDITION OF THE FLORIDA BUILDING CODE. IN ADDITION TO THE DEAD LOADS, THE FOLLOWING LOADS AND ALLOWABLES WERE USED FOR DESIGN, WITH LIVE LOADS REDUCED PER FBC:

Table with 2 columns: Category (ROOF, FLOORS, WIND SPEED, etc.) and Value (20 PSF, 100 PSF, etc.).

COMPONENTS AND CLADDING PRESSURES ARE PROVIDED ON THIS SHEET.

SUBMITTALS: SHOP DRAWINGS APPROVED BY THE CONTRACTOR SHALL BE SUBMITTED TO THE ENGINEER PRIOR TO FABRICATION AND CONSTRUCTION REGARDING STRUCTURAL ITEMS INCLUDING THE FOLLOWING:

CONCRETE MIX DESIGNS, CONCRETE AND MASONRY REINFORCING, PRECAST OR PRESTRESSED CONCRETE MEMBERS.

IF THE SHOP DRAWINGS DIFFER FROM OR ADD TO THE DESIGN OF THE STRUCTURAL DRAWINGS, THEY SHALL BEAR THE SEAL AND SIGNATURE OF A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF FLORIDA.

DESIGN DRAWINGS, SHOP DRAWINGS, AND CALCULATIONS FOR THE DESIGN AND FABRICATION OF ITEMS THAT ARE DESIGNED BY OTHERS, INCLUDING:

PREMANUFACTURED WOOD TRUSSES, WINDOW WALL AND ALL OTHER GLAZING SYSTEMS

SHALL BEAR THE SEAL AND SIGNATURE OF A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF FLORIDA, AND SHALL BE SUBMITTED TO THE ENGINEER PRIOR TO FABRICATION. CALCULATIONS SHALL BE INCLUDED FOR ALL CONNECTIONS TO THE STRUCTURE, CONSIDERING LOCALIZED EFFECTS ON THE STRUCTURAL ELEMENTS INDUCED BY THE CONNECTION LOADS.

SHOP DRAWINGS WILL BE REVIEWED FOR GENERAL COMPLIANCE WITH THE DESIGN INTENT OF THE CONTRACT DOCUMENTS ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY COMPLIANCE WITH THE CONTRACT DOCUMENTS AS TO QUANTITY, LENGTH, ELEVATIONS, DIMENSIONS, ETC.

DIVISION 2

FOUNDATIONS: FOUNDATIONS ARE DESIGNED FOR AN ALLOWABLE SOIL BEARING PRESSURE OF 2,000 PSF ON COMPETENT NATIVE SOIL OR COMPACTED STRUCTURAL FILL.

Table with 3 columns: SOIL BEARING PRESSURE, 2,000 PSF, ASSUMED ALLOWABLE PER FLORIDA BUILDING CODE.

CENTER ALL FOOTINGS AND PIERS UNDER COLUMNS UNLESS SPECIFICALLY DIMENSIONED OTHERWISE.

DIVISION 3

CONCRETE: REINFORCED CONCRETE CONSTRUCTION SHALL CONFORM TO THE FBC AND ACI 318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE".

Table with 5 columns: fc (PSI), ABS W/C, MIN CEMENT, SLUMP, USE. Values: 3000 PSI, 0.58, 470 LBS, 5 +/- 1, ALL USES U.N.O.

CEMENT SHALL CONFORM TO ASTM C-150, TYPE 1. FLY ASH CONFORMING TO ASTM C618, TYPE F OR TYPE C, MAY BE USED TO REPLACE UP TO 20% OF THE CEMENT CONTENT.

THE CONTRACTOR SHALL SUBMIT CONCRETE MIX DESIGNS, ALONG WITH TEST DATA AS REQUIRED, A MINIMUM OF TWO WEEKS PRIOR TO PLACING CONCRETE.

A WATER-REDUCING ADMIXTURE CONFORMING TO ASTM C494, USED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, SHALL BE INCORPORATED IN CONCRETE DESIGN MIXES.

SLEEVES, OPENINGS, CONDUIT, AND OTHER EMBEDDED ITEMS NOT SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE APPROVED BY THE STRUCTURAL ENGINEER BEFORE POURING.

WHERE INDICATED OR REQUIRED, SLOPE CONCRETE SLABS TO DRAINS SHOWN ON PLUMBING AND/OR ARCHITECTURAL DRAWINGS.

ALL CONCRETE SHALL BE CURED IMMEDIATELY AFTER FINISHING OPERATIONS.

REINFORCING STEEL: REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60, FOR DEFORMED BAR AND ASTM A185 FOR SMOOTH WELDED WIRE FABRIC (WWF).

ALL DETAILING AND ACCESSORIES TO CONFORM TO THE LATEST EDITION OF THE ACI DETAILING MANUAL. PROVIDE CHAIRS, SPACERS, BOLSTER AND TENSILE CONTACT WITH CONCRETE WITH HOT-DIP GALVANIZED LEGS OR PLASTIC LEGS.

REQUIRED CONCRETE COVER FOR REINFORCING STEEL (UNLESS NOTED OTHERWISE):

Table with 2 columns: Item (FOOTINGS, INT SLABS AND WALLS, etc.) and Value (3" BOTTOM AND SIDES, 2" TOP, etc.).

LAP SPLICE CONTINUOUS VERTICAL OR HORIZONTAL BARS IN CONCRETE MEMBERS IN ACCORDANCE WITH ACI 318, LATEST EDITION, FOR CLASS "B" TENSION LAP SPLICES.

AT SLAB AND WALL OPENINGS PROVIDE A MINIMUM OF (2) #5 BARS ALL FOUR SIDES; EXTEND THESE BARS A LAP DISTANCE OR A MINIMUM OF 24" PAST THE OPENING.

DOWEL ALL WALLS AND COLUMNS TO FOOTINGS WITH BAR SIZE AND SPACING TO MATCH VERTICAL REINFORCING UNLESS OTHERWISE SHOWN.

WHERE NEW CONCRETE IS PLACED AGAINST EXISTING CONCRETE, THE EXISTING CONCRETE SURFACE SHOULD BE CLEANED AND ROUGHENED TO A MINIMUM 1/4" AMPLITUDE AND HAVE A BONDING AGENT APPLIED.

WEDGE STYLE ANCHORING: WEDGE STYLE ANCHORS SHALL BE USED IN SOLID CONCRETE OR GROUT-FILLED MASONRY APPLICATIONS. WEDGE ANCHORS ARE A ONE-PIECE STUD ANCHOR WITH STEEL CLIP (EXPANDING RING) CONFORMING TO FEDERAL SPECIFICATION FF-S-325.

CARBON STEEL ANCHORS SHALL BE ZINC PLATED IN ACCORDANCE WITH ASTM B633 OR HOT-DIPPED GALVANIZED ACCORDING TO ASTM A153.

SCREW STYLE ANCHORING: SCREW STYLE ANCHORS SHALL BE USED IN SOLID CONCRETE OR GROUT-FILLED MASONRY APPLICATIONS FOR STRUCTURAL ANCHORING.

CARBON STEEL ANCHORS SHALL BE ZINC PLATED IN ACCORDANCE WITH ASTM B633 OR HOT-DIPPED GALVANIZED ACCORDING TO ASTM B695.

CHEMICAL ADHESIVE ANCHORING AND DOWELING: ADHESIVE ANCHORS (EPOXY STYLE) SHALL BE USED IN SOLID CONCRETE OR GROUT-FILLED MASONRY APPLICATIONS.

ADHESIVE SHALL BE MOISTURE INSENSITIVE. (ALLOWING INSTALLATIONS IN DAMP OR WATER-FILLED HOLES) ADHESIVE SHALL HAVE A FULL-CURE TIME OF LESS THAN 2 HOURS AT 70°F.

THREADED STUDS SHALL CONFORM TO ASTM A36 (STANDARD CARBON STEEL), UNLESS NOTED OTHERWISE.

INSTALLATION SHALL BE IN CONFORMANCE WITH MANUFACTURER'S PRINTED LITERATURE. INSTALLATION SHALL ALSO INCLUDE BRUSHING AND CLEANING OF DRILLED HOLES WITH COMPRESSED AIR AS INSTRUCTED.

DIVISION 4

MASONRY WALLS: MASONRY UNITS SHALL MEET ASTM C-90. ASSEMBLIES SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF f'm = 1500. MORTAR SHALL BE TYPE "M" OR "S" AND MEET ASTM C-270.

ALL CELLS CONTAINING VERTICAL BARS, BOND BEAMS, AND ALL CELLS BELOW GRADE SHALL BE FILLED WITH GROUT. MAXIMUM HEIGHT OF GROUT POUR ALLOWED IS 4'-0" UNLESS CLEAN-OUT OPENING IS PROVIDED AT BOTTOM OF CELLS TO BE FILLED.

PROVIDE REINFORCING BARS AT CORNERS, INTERSECTIONS, EACH SIDE OF OPENINGS OVER 4 FEET WIDE, AND AS SHOWN ON THE PLANS. PROVIDE HOOKED DOWELS INTO FOOTINGS AND STRUCTURE ABOVE AND/OR BELOW TO PROVIDE CONTINUITY.

DO NOT PLACE CONDUITS, PIPES, ETC., IN CELLS WITH VERTICAL REINFORCING. DO NOT RUN CONDUITS, PIPES, ETC., HORIZONTALLY IN CMU WALLS PARALLEL TO LENGTH OF WALL.

USE METAL LATH OR WIRE SCREEN FOR CAVITY CAPS. SHEET METAL, FELT, BUILDING PAPER, OR LIKE MATERIALS ARE PROHIBITED.

PRECAST CONCRETE LINTELS: UNLESS INDICATED OTHERWISE, ALL LINTELS TO BE "U" TYPE PRECAST CONCRETE UNITS EQUAL TO UNITS MANUFACTURED BY CAST-CRETE CORP.

PROVIDE 8" MINIMUM BEARING FOR LINTELS UNLESS NOTED OTHERWISE.

DIVISION 6

SAWN LUMBER: SAWN LUMBER SHALL BE SOUTHERN PINE #2 WITH THE ALLOWABLE FIBER STRESSES PER THE LATEST EDITION OF THE NDS.

WOOD FRAMING CONNECTORS AND FASTENERS: ALL FASTENERS AND CONNECTORS EXPOSED TO WEATHER OR IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE HOT DIP GALVANIZED.

FRAMING ACCESSORIES AND STRUCTURAL FASTENERS SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE COMPANY (OR ENGINEER APPROVED SUBSTITUTION) AND OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS.

WOOD FRAMING CONNECTIONS: ALL FASTENERS FOR FRAMING MEMBERS SHALL MEET THE REQUIREMENTS OF FBC CHAPTER 23, SECTION 2304, TABLE 2304.10.1 (U.N.O.)

ALL FRAMING NAILS SHALL BE COMMON NAILS AND SHALL BE OF THE SIZE AND NUMBER INDICATED ON THE DRAWINGS. BOLTS AND LAG SCREWS SHALL CONFORM TO ASME B18.2.6.

SHEATHING: SHEATHING PANELS SHALL CONFORM TO THE REQUIREMENTS OF "U.S. PRODUCT STANDARD PS-1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD" OR PS-2 PERFORMANCE STANDARDS FOR WOOD-BASED STRUCTURAL USE PANELS.

SHEATHING INSTALLATION SHALL BE IN CONFORMANCE WITH APA RECOMMENDATIONS. ALLOW 1/8" SPACING AT PANEL EDGES, UNLESS OTHERWISE RECOMMENDED BY THE PANEL MANUFACTURER.

SHEATHING SHALL BE INSTALLED WITH FACE GRAIN PERPENDICULAR TO SUPPORTS, EXCEPT AS INDICATED ON THE DRAWINGS. STAGGER ENDS OF ADJACENT PANELS 4'-0".

ROOF SHEATHING SHALL BE WOOD-BASED STRUCTURAL USE PANELS HAVING TONGUE-AND-GROOVE EDGES, EDGES SUPPORTED BY 2x BLOCKING, OR EDGES SUPPORTED BY PLYCLIPS.

CEILING SHEATHING FOR CEILING EXPOSED TO WIND SHALL BE WOOD-BASED STRUCTURAL USE PANELS. ATTACH SHEATHING PANELS TO SUPPORTING MEMBERS WITH 8d NAILS SPACED 6" ON CENTER ALONG THE PANEL EDGES AND AT 6" ON CENTER ALONG INTERMEDIATE SUPPORTS.

PREFABRICATED WOOD TRUSSES: DESIGN AND MANUFACTURE IN ACCORDANCE WITH TPI "NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSSES", LATEST EDITION, AND THE ARCHITECTURAL AND STRUCTURAL DRAWINGS.

ROOF TRUSS LOADING:

Table with 2 columns: Load Type (TOP CHORD LIVE LOAD, etc.) and Value (20 PSF OR WIND UPLIFT SHOWN ON DRAWINGS).

USE 10 PSF DEAD LOAD MAXIMUM TO RESIST UPLIFT

TRUSS BOTTOM CHORD IS NOT BRACED BY INTERIOR CEILING.

ALL TRUSS TO TRUSS CONNECTIONS TO BE DESIGNED BY TRUSS MANUFACTURER. TRUSS DIAGRAMS, IF SHOWN, ARE DIAGRAMMATIC ONLY. TRUSS DESIGNER TO DETERMINE AND ESTABLISH EXACT HEIGHT, LENGTH, LOCATION, SPACING, AND WEB MEMBER FOR EACH TRUSS.

ROOF FRAMING PLAN ARE FOR DESIGN PURPOSES ONLY. ENGINEERING IS BASED ON THESE FRAMING PLANS.

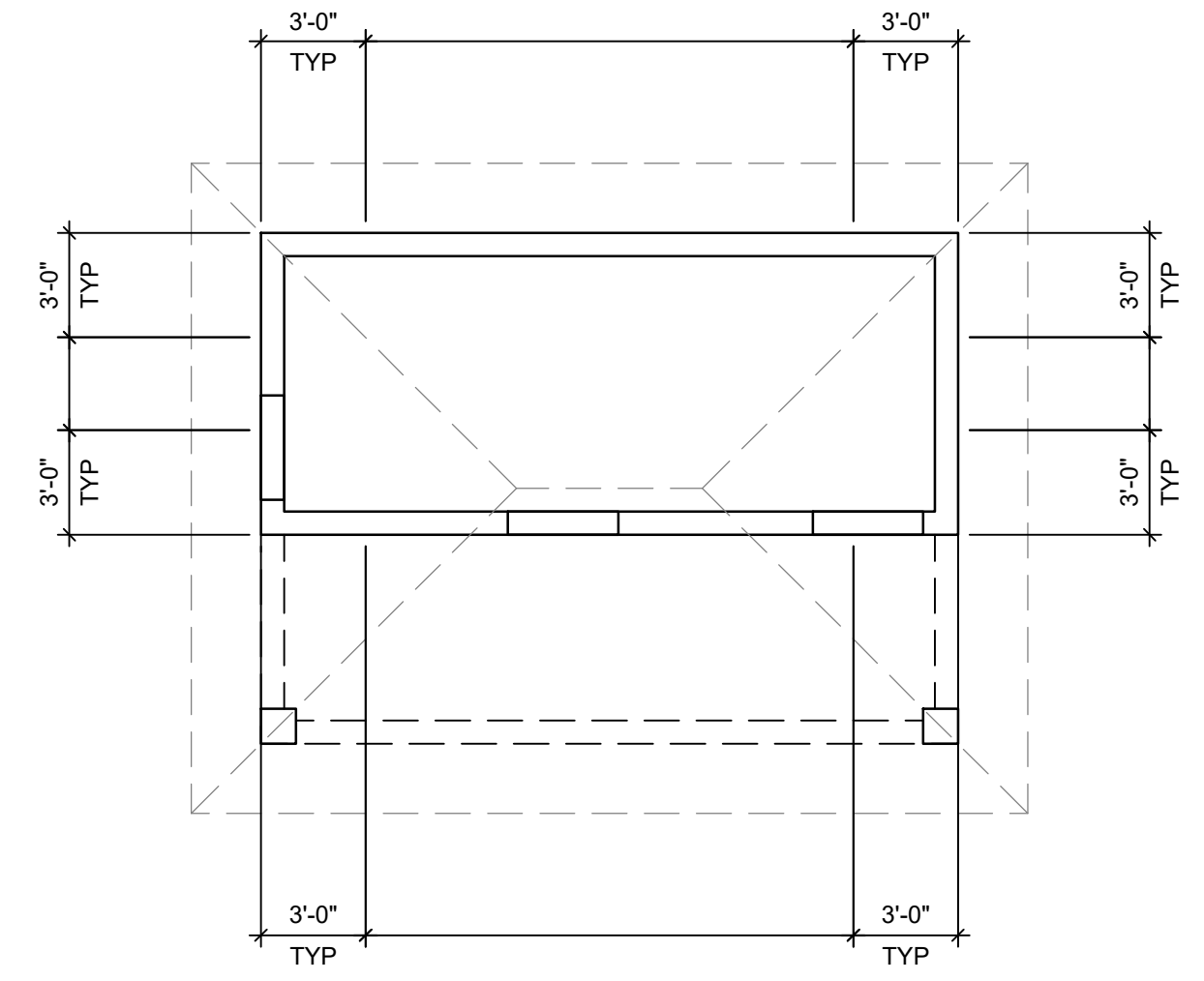
SUBMIT COMPLETE SHOP DRAWINGS, PERMANENT BRACING SPECIFICATIONS AND DESIGN CALCULATIONS, PREPARED, SIGNED, AND SEALED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF FLORIDA SUBSTANTIATING ALL STRENGTH AND SERVICEABILITY CRITERIA.

MANUFACTURER TO PROVIDE MOISTURE BARRIER AT LOCATION OF TRUSS BEARING WHEN TRUSS WILL BE IN CONTACT WITH CONCRETE BEAM.

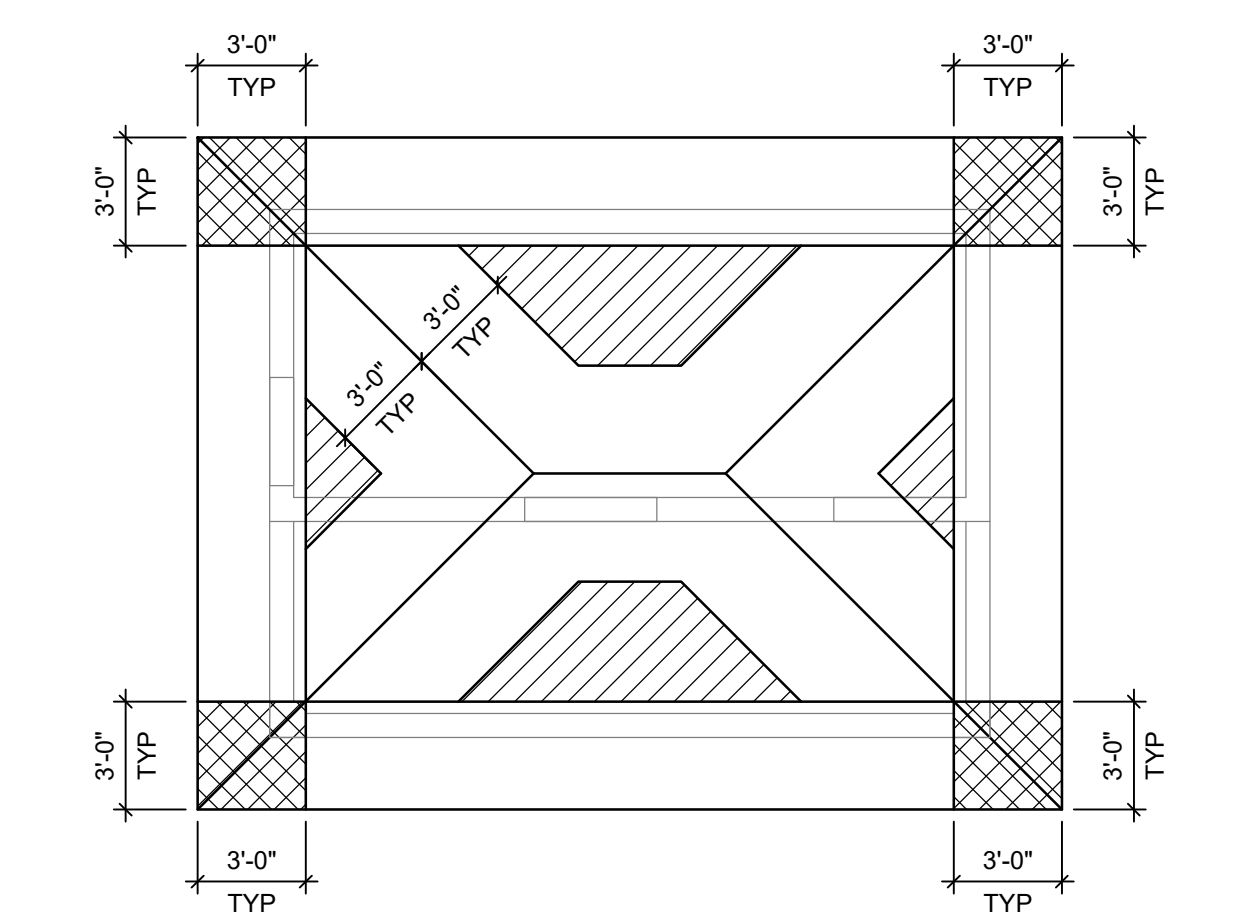
DIVISION 9

INTERIOR WALL AND CEILING GYP BOARD REQUIREMENTS: THE INTERIOR WALLS SHALL BE SHEATHED WITH 1/2" MIN. GYPSUM BOARD. THE CEILINGS SHALL BE SHEATHED WITH 5/8" MIN. GYPSUM BOARD OR 1/2" NON SAG SHEETROCK.

THE ENGINEER OF RECORD IS FOR STRUCTURAL ONLY AND NOT TO BE CONSIDERED THE ENGINEER OF RECORD WITH TOTAL RESPONSIBILITY FOR ALL SPECIFICATIONS RELATIVE TO THIS ENTIRE STRUCTURE AND SPECIFIC SITE LOCATION INCLUDING BUT NOT LIMITED TO ARCHITECTURAL AND LIFE SAFETY ISSUES (EGRESS, ACCESSIBILITY, FIRE, HAZARD, ETC.)



TYPICAL WALL COMPONENTS AND CLADDING WIND ZONE DIAGRAM SCALE: N.T.S.



TYPICAL ROOF COMPONENTS AND CLADDING WIND ZONE DIAGRAM SCALE: N.T.S.

Table with 4 columns: ZONE, 7 SQ FT, 20 SQ FT, 50 SQ FT, 100 SQ FT. Rows for HIPPED ROOF and WALL.

- NOTES: 1. PRESSURES INCLUDE ASCE 7-16 ASD LOAD FACTOR OF 0.6 AND SHALL NOT BE MULTIPLIED BY 0.6 WHEN USED IN ALLOWABLE STRESS DESIGN (ASD) LOAD COMBINATIONS.

- LEGEND: 1. GENERAL UPLIFT ZONE, 2. END UPLIFT ZONE, 3. CORNER UPLIFT ZONE, 4. TYPICAL WALL, 5. WALL AT CORNER.

ATLAS Structural Engineering, LLC logo and professional seal for Robin W. Stephan, P.E.

CONSULTANT: ALAIR logo

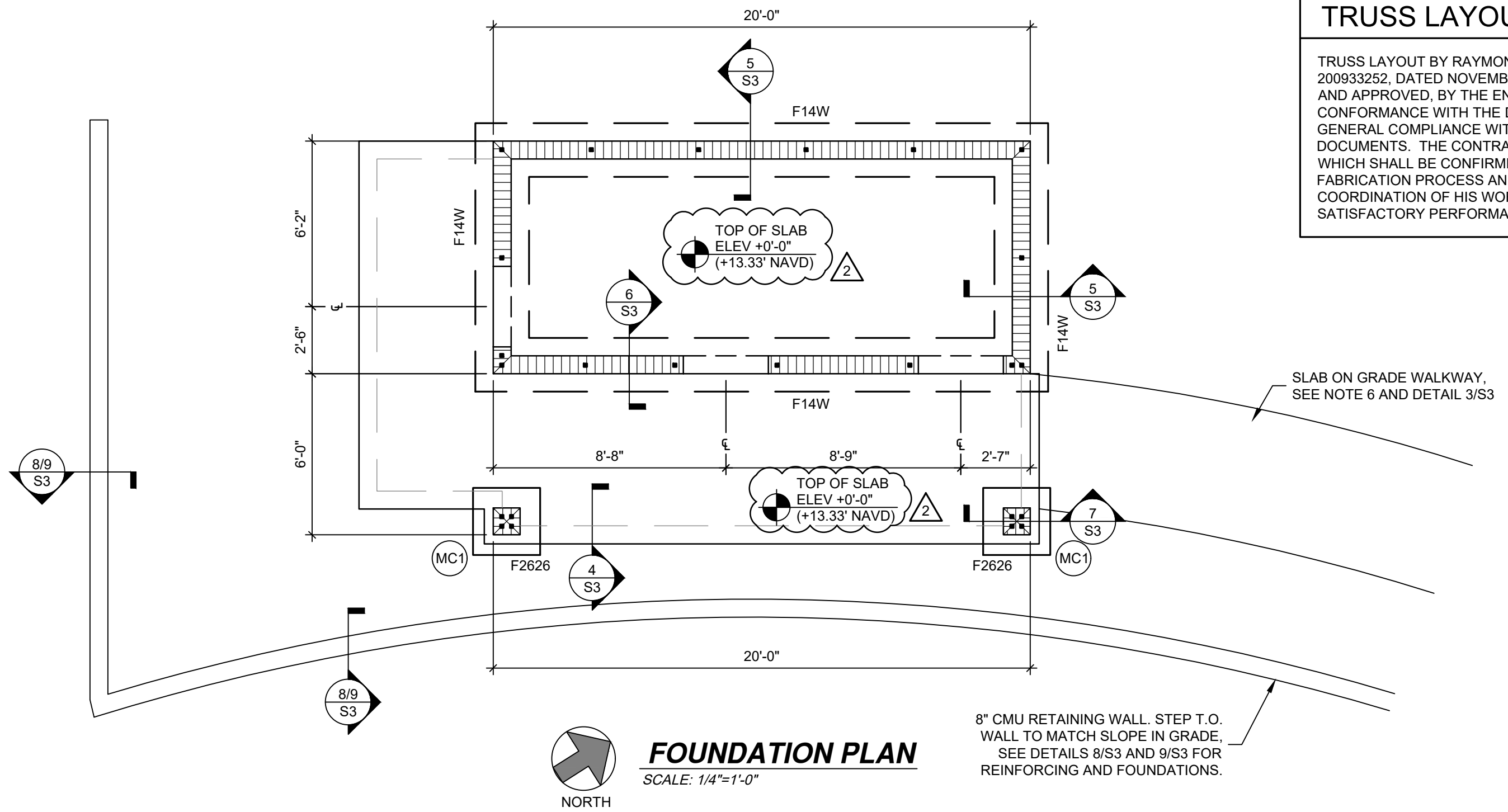
CYPRESS COVE BATHROOM logo and address: 4261 40TH AVE SE NAPLES, FLORIDA 34117

Table with 3 columns: NO., DESCRIPTION, DATE. Row 1: REVISE DRAWINGS FOR FBC 2020, 02.17.2021.

Table with 2 columns: DRAWN BY: OQ, CHECKED BY: RS, DATE: 12.01.2020, JOB NO: 20131.

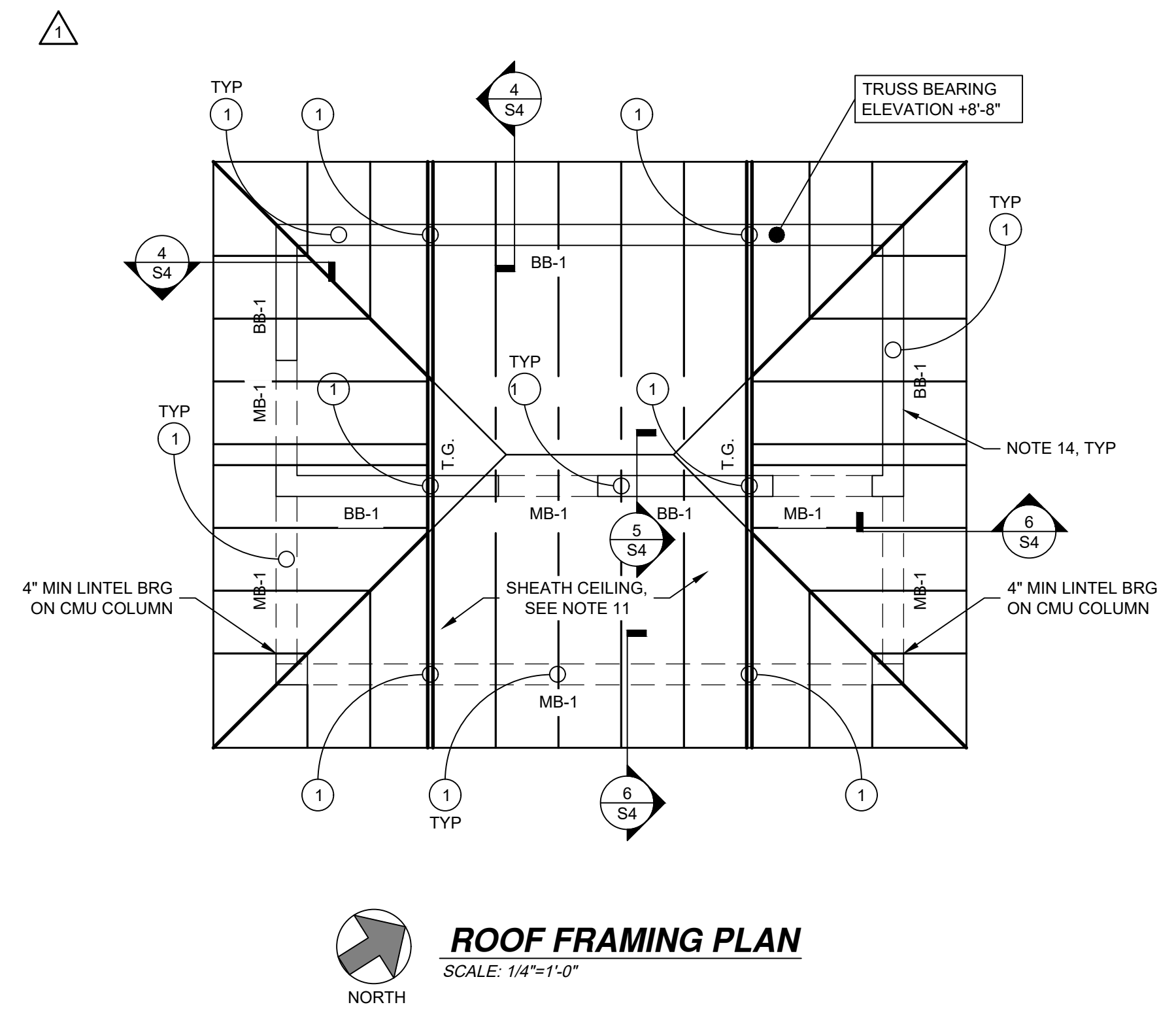
SHEET TITLE: GENERAL NOTES AND WIND PRESSURES. SHEET: S1

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TRUSS LAYOUT HAS BEEN REVIEWED

TRUSS LAYOUT BY RAYMOND BUILDING SUPPLY CORP., RBS PROJECT No. 200933252, DATED NOVEMBER 20, 2020. TRUSS LAYOUT HAS BEEN REVIEWED AND APPROVED, BY THE ENGINEER OF RECORD, FOR GENERAL CONFORMANCE WITH THE DESIGN CONCEPTS OF THE PROJECT AND GENERAL COMPLIANCE WITH THE INFORMATION GIVEN IN THE CONTRACT DOCUMENTS. THE CONTRACTOR WILL BE RESPONSIBLE FOR DIMENSIONS, WHICH SHALL BE CONFIRMED AND CORRELATED AT THE JOB SITE, FABRICATION PROCESS AND TECHNIQUES OF CONSTRUCTION, COORDINATION OF HIS WORK WITH THAT OF OTHER TRADES AND THE SATISFACTORY PERFORMANCE OF HIS WORK.



FOUNDATION PLAN NOTES:

- SEE SHEET S1 FOR GENERAL STRUCTURAL NOTES, DESIGN CRITERIA AND WIND DESIGN PRESSURES.
- BATHROOM FINISH FLOOR SHALL BE 1'-0" MIN ABOVE FLOOD ELEVATION. GRADE AT REAR OF BUILDING SHALL BE LEVEL WITH TOP OF EXISTING SEPTIC DRAIN FIELD. COORDINATE RETAINING WALL WITH EXISTING GRADE AND FINISHED GRADES.
- F"X" INDICATES FOUNDATION TYPE. SEE SCHEDULE ON THIS SHEET. COORDINATE WITH SITE AND DRAINAGE PLANS, AND WITH ARCHITECTURAL DRAWINGS. TOP OF STEM WALL AND SPREAD FOOTING ELEVATION -4'-0" MAX AND TOP OF MONOLITHIC FOOTING AT TOP OF SLAB, U.N.O.
- ELEVATION "X"X" INDICATES TOP OF SLAB ELEVATION.
- ELEVATIONS SHOWN ON STRUCTURAL DRAWINGS REFER TO +0'-0" REFERENCE ELEVATION, WHICH IS THE TOP OF SLAB.
- INTERIOR AND EXTERIOR SLABS ON GRADE SHALL BE A MINIMUM 4" CONCRETE SLAB ON GRADE WITH ONE LAYER OF 6x6-W1.4xW1.4 WELDED WIRE FABRIC (WWF) LOCATED AT 1-1/2" BELOW TOP OF SLAB, U.N.O.
- SLAB ON GRADE CONTROL JOINTS (C.J.) SHALL BE TOOLED OR SAWCUT PER DETAIL. THE JOINT PATTERN SHALL BE AS SHOWN ON THE PLANS OR DETAIL.
- INDICATES 8" EXTERIOR CMU WALL #5 VERTICALS AT 48" O.C. MAX. PROVIDE (1) #5 BAR VERTICAL EACH SIDE OF OPENING <4'-0" WIDE AND (2) #5 BARS VERTICAL EACH SIDE OF OPENINGS >4'-0". PROVIDE (1) #5 VERTICAL AT ALL INTERSECTIONS AND CORNERS. ALL CELLS CONTAINING VERTICAL REINFORCING SHALL BE GROUDED SOLID. SEE PLAN FOR ADDITIONAL LOCATIONS AND REINFORCING. SEE 2/S3 FOR TYPICAL MASONRY WALL CONSTRUCTION.
- INDICATES COLUMN TYPE. SEE SCHEDULE ON THIS SHEET.
- SEE SHEETS S3 AND S4 FOR TYPICAL DETAILS.
- VERIFY / COORDINATE ALL DIMENSIONS AND ELEVATIONS WITH EXISTING CONDITIONS, TRUSS DRAWINGS AND ARCHITECTURAL DRAWINGS BEFORE COMMENCING CONSTRUCTION. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL DIMENSIONAL INFORMATION.
- CONTRACTOR SHALL FIELD VERIFY DIMENSIONS AS REQUIRED, PRIOR TO AND DURING CONSTRUCTION.
- SEE ARCHITECTURAL DRAWINGS FOR SLOPES, DROPS, AND DRAIN LOCATIONS IN FLOOR SLABS.
- VERIFY / COORDINATE EDGE OF SLAB DETAILS AT EXTERIOR DOORS WITH ARCHITECTURAL DRAWINGS.
- SEE SHEET S1 FOR COMPONENTS AND CLADDING DESIGN WIND PRESSURES ON EXTERIOR DOORS. DOORS SHALL BE IMPACT RESISTANT OR PROTECTED WITH SHUTTERS. MANUFACTURER PRODUCT APPROVAL SHALL MEET OR EXCEED THE NOMINAL DESIGN WIND PRESSURES PROVIDED (+26/-37 PSF). OPENING DIMENSIONS SHALL BE VERIFIED WITH MANUFACTURER.

ROOF FRAMING PLAN NOTES:

- SEE SHEET S1 FOR GENERAL STRUCTURAL NOTES, DESIGN CRITERIA AND WIND DESIGN PRESSURES.
- B"X" INDICATES BEAM TYPE. SEE SCHEDULE AND DETAILS ON THIS SHEET.
- TG INDICATES TRUSS GIRDER.
- X INDICATES TRUSS CONNECTOR. SEE SCHEDULE ON THIS SHEET.
- SEE SHEETS S3 AND S4 FOR TYPICAL DETAILS.
- PRECAST LINTEL HEADER SHALL BE 8F8-1B OR 8RF6-1B LOCATED AT TOP OF DOOR AND BELOW BOND BEAM, U.N.O. ALL LINTELS SHALL BE CASTCRETE OR EQUIVALENT. SEE DETAIL 8/S4.
- VERIFY / COORDINATE ALL DIMENSIONS AND ELEVATIONS WITH EXISTING CONDITIONS, TRUSS DRAWINGS AND ARCHITECTURAL DRAWINGS BEFORE COMMENCING CONSTRUCTION. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL DIMENSIONAL INFORMATION.
- COORDINATE STEPS AND SLOPES IN ROOF WITH ARCHITECTURAL DRAWINGS
- PRE-ENGINEERED WOOD ROOF TRUSSES SHALL BE SPACED AT 24" O.C. MAX. TRUSSES SHALL BE COORDINATED WITH ARCHITECTURAL, ELECTRICAL AND MECHANICAL DRAWINGS.
- ALL TRUSS TO TRUSS CONNECTIONS SHALL BE DESIGNED BY TRUSS COMPANY.
- CEILING SHEATHING, FOR CEILINGS EXPOSED TO WIND, SHALL BE 1/2" APA 32/16 RATED SHEATHING (15/32" MINIMUM) WITH 8d NAILS AT 6" O.C. MAX TO EACH TRUSS AND TO PERIMETER BLOCKING OR FASCIA.
- ROOF SHEATHING SHALL BE 1/2" APA 32/16 RATED SHEATHING (15/32" MINIMUM) WITH 8d RING SHANK NAILS AT 6" O.C. MAX TO EACH TRUSS AND TO PERIMETER BLOCKING OR FASCIA.
- SEE 9/S4 AND 10/S4 FOR TYPICAL TRUSS BOTTOM CHORD LATERAL AND DIAGONAL BRACING.
- STRUCTURALLY ACCEPTABLE TO PROVIDE 8x16 OPENINGS IN CMU WALL FOR VENTILATION. OPENINGS SHALL BE LOCATED BELOW THE BOND BEAM AND BETWEEN GROUT-FILLED CELLS CONTAINING VERTICAL WALL REINFORCING.

NUMBER	SIZE: WxL	THICKNESS	REINFORCING	REMARKS
F14W	1'-4" x CONT	0'-10"	(2) #5 CONT	TYP CMU WALL STEMWALL
F2626	2'-6" x 2'-6"	0'-10"	93) #5 EA WAY	TYP CMU COLUMN SPREAD FOOTING

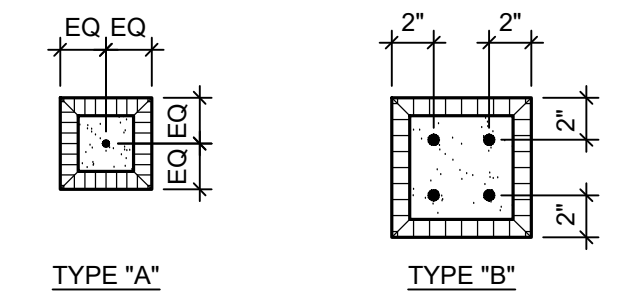
NUMBER	TOP OF BEAM ELEVATION	SIZE: WIDTHxDEPTH (INCHES)	LONGITUDINAL BARS			STIRRUPS	REMARKS
			TOP	MID-DEPTH	BOTTOM		
BB-1	8'-8"	8 x 8	(2) #5	-	-	N/A	1-COURSE BOND BEAM
MB-1	8'-8"	8 x 16	(2) #5	-	(1) #5	N/A	8F16-1B/2T PRECAST LINTEL

MARK	TOP OF COLUMN ELEVATION	SIZE	VERTICAL REINFORCING	COLUMN TIES	TYPE	REMARKS
MC1	7'-4"	1'-0" x 1'-0"	(4) #5 VERT	N/A	"B"	MASONRY COLUMN

- NOTES:**
- CONTRACTOR TO VERIFY ALL BEAM ELEVATIONS W/ TRUSS PLANS AND ARCHITECTURAL DRAWINGS.
 - PRECAST LINTELS BY CAST-CRETE (OR ENGINEER APPROVED EQUIVALENT).
 - BEAM DEPTHS ABOVE ARE MINIMUM. BOTTOM OF CONCRETE OR MASONRY BEAMS SHALL BE DROPPED TO WINDOWS/DOORS HEAD HEIGHTS. IN ADDITION TO BOND BEAM, PROVIDE 8F8-1B PRECAST LINTEL BY CAST-CRETE (OR ENGINEER APPROVED EQUIVALENT) BELOW BEAMS AND ABOVE MASONRY OPENINGS WITH GROUDED SOLID MASONRY INFILL BETWEEN BEAMS AND PRECAST LINTELS.

MARK	ANCHOR TYPE	CONNECTION TO SUPPORT	CONNECTION TO MEMBER	REMARKS
1	META20	4" MIN EMBED	(8) 10d x 1 1/2" NAILS	TYP TRUSS OR TG CONNECTOR TO GROUT FILLED MASONRY LINTEL BEAM OR BOND BEAM

- NOTES:**
- CONNECTORS BASED ON SIMPSON STRONG-TIE. OTHER BRANDS MAY BE SUBSTITUTED WHEN ALLOWABLE SUPPORT VALUES ARE EQUAL TO OR GREATER THAN THOSE SPECIFIED.
 - TYPICAL ANCHOR TO GROUT FILLED CMU BOND BEAM: HETA W/ (9) 10d x 1-1/2" NAILS.
 - UNLESS NOTED OTHERWISE, 8d NAILS SHALL BE 0.131" DIAMETER, 10d NAILS SHALL BE 0.148" DIAMETER AND 16d NAILS SHALL BE 0.162" DIAMETER.
 - FASTENERS SHALL BE INSTALLED INTO FULLY GROUDED REINFORCED CMU, REINFORCED CONCRETE OR SOLID WOOD LUMBER, AS SPECIFIED BY MANUFACTURER.



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 PO Box #101578 | Cape Coral, Florida 33910-1578
 phone 239.274.6820 | CA #26380

ROBIN W. STEPHAN
 LICENSE No 66525
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 Robin W. Stephan, P.E.
 PE # 66525

CONSULTANT:
ALAIR

CYPRESS COVE BATHROOM
 4261 40TH AVE SE NAPLES, FLORIDA 34117

NO.	DESCRIPTION	DATE
1	REVISE DRAWINGS FOR FCC 2020	02.17.2021
2	ADD SITE PLAN DIMENSIONS AND FINISHED FLOOR ELEVATIONS	03.25.2021

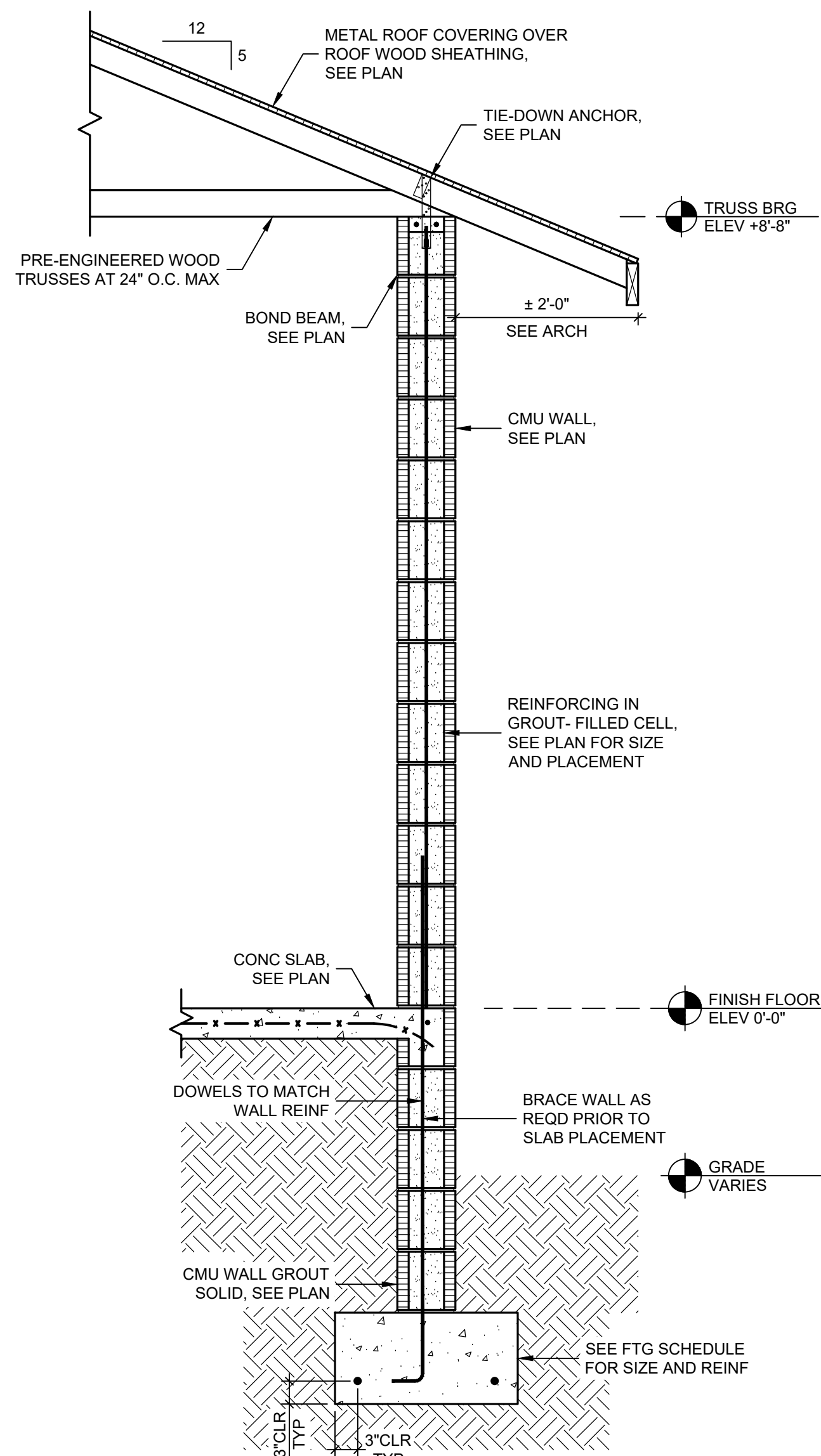
DRAWN BY:	OQ
CHECKED BY:	RS
DATE:	12.01.2020
JOB NO:	20131

ATLAS

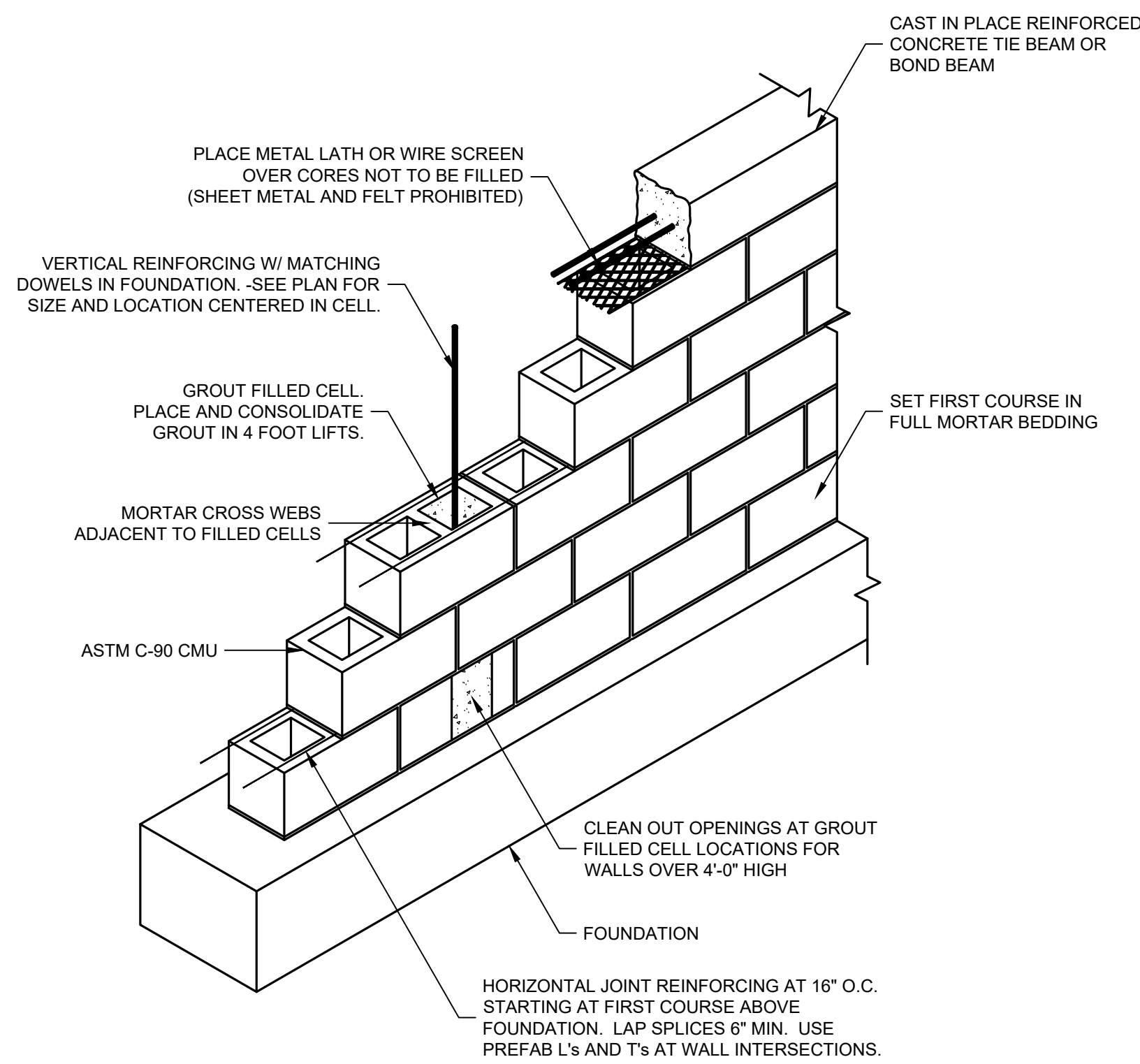
SHEET TITLE:
FOUNDATION AND ROOF FRAMING PLANS

SHEET:
S2

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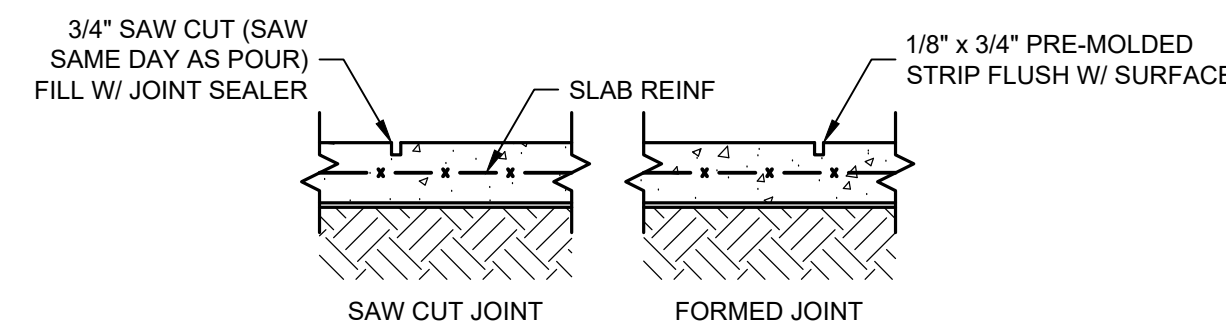
1 TYPICAL WALL SECTION
SCALE: 3/4"=1'-0"



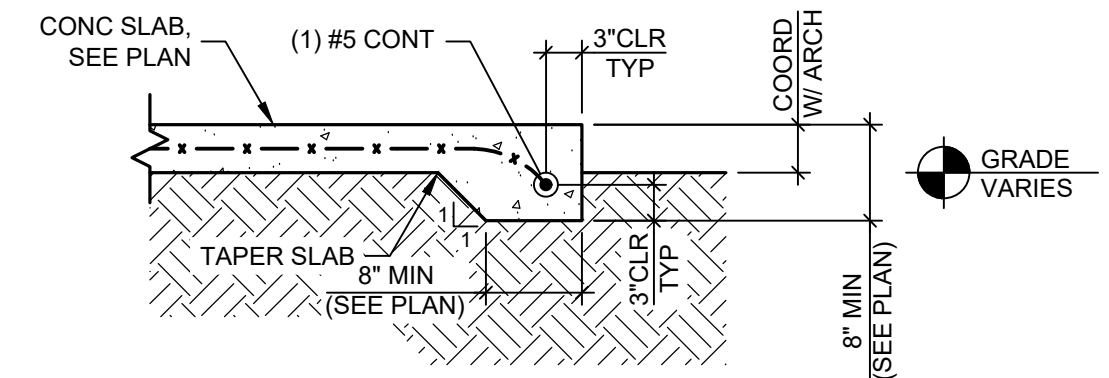
- LOW LIFT GROUTING PROCEDURE:**
1. CONSTRUCT WALL TO HEIGHT OF 4'-0" ALLOW MORTAR TO SET SUFFICIENTLY TO WITHSTAND GROUT PRESSURE.
 2. INSPECT UNITS FOR ALIGNMENT, CLEAN OUT CELLS TO BE FILLED.
 3. FILL CELLS TO 1" BELOW TOP COURSE
 4. DELAY 3 TO 5 MINUTES PRIOR TO CONSOLIDATION TO ALLOW EXCESS MOISTURE TO BE ABSORBED BY MASONRY.
- HIGH LIFT GROUTING PROCEDURE:**
1. CONSTRUCT WALL TO FULL HEIGHT (24' MAX.) ALLOW MASONRY TO CURE AT LEAST 3 DAYS.
 2. CLEAN CELLS, WHICH ARE TO BE GROUTED THROUGH CLEAN-OUT PORTS.
 3. PLACE GROUT IN 4' LIFTS TO CONSOLIDATE AFTER EXCESS MOISTURE HAS BEN ABSORBED BY MASONRY.
 4. PLACE THE NEXT LIFT AS SOON AS POSSIBLE BUT NO LONGER THAN ONE HOUR LATER.

2 TYPICAL MASONRY WALL CONSTRUCTION
SCALE: 3/4"=1'-0"

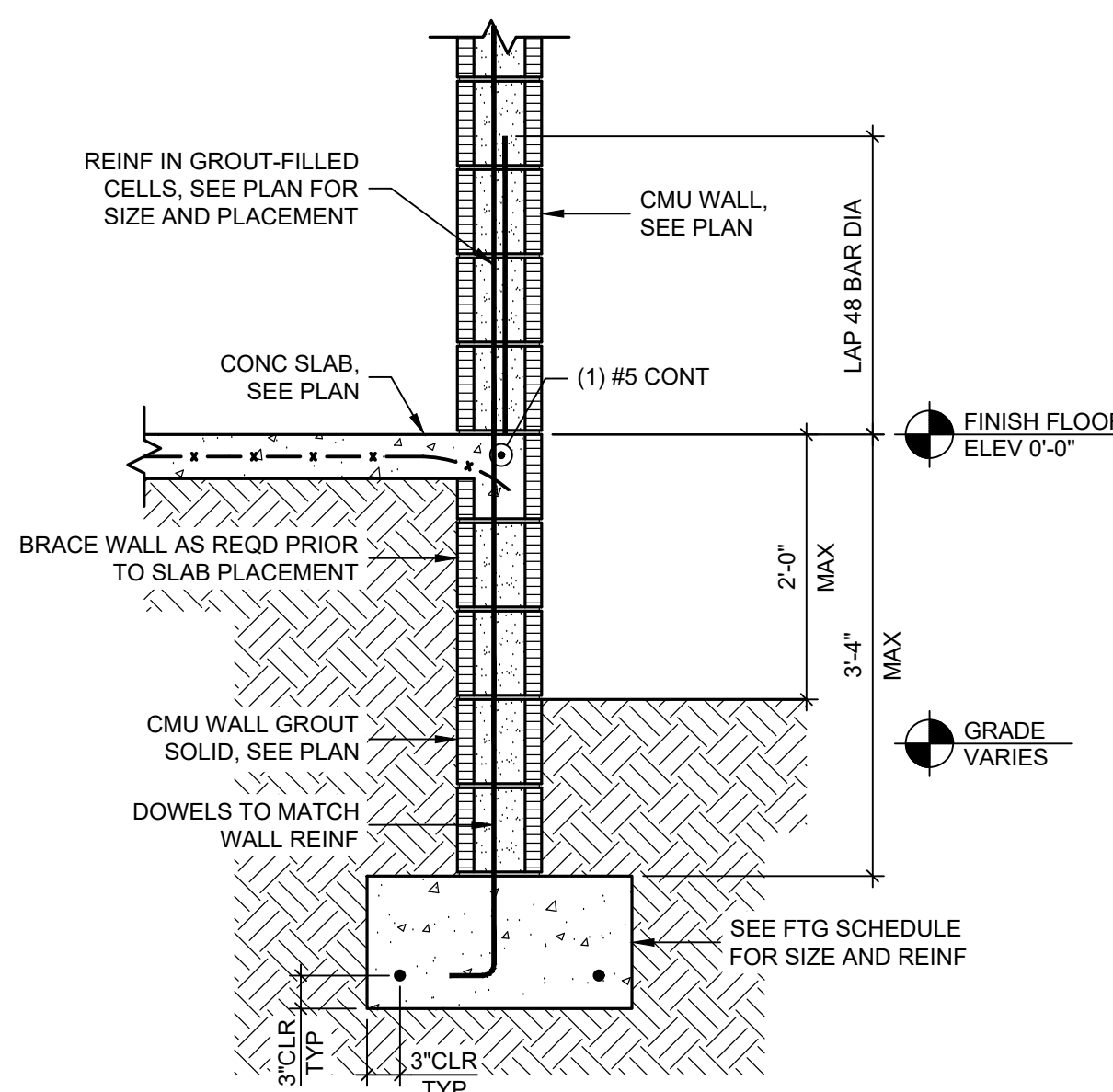
- NOTES:
1. INTERIOR SLAB ON GRADE CONTROL JOINTS (C.J.) SHALL BE TOOLED OR SAWCUT PER DETAIL. THE JOINT PATTERN SHALL BE APPROXIMATELY SQUARE AND LIMITED TO AN AREA NOT EXCEEDING APPROXIMATELY 400 SQFT.
 2. EXTERIOR SLABS ON GRADE, SUCH AS WALKWAYS, PATIOS, STEPS AND PORCHES, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 19 OF THE FBC. MINIMUM THICKNESS SHALL BE 3-1/2". HORIZONTAL CONTROL JOINTS IN EXTERIOR SLABS SHALL BE SPACED A MAXIMUM OF 1.5 TIMES THE SLAB MINIMUM HORIZONTAL DIMENSION AND A MAXIMUM OF 10 FEET O.C. (EXAMPLE: CONTROL JOINTS IN 5'-0" WIDE SIDEWALK SHALL BE 7'-6" O.C. MAXIMUM).



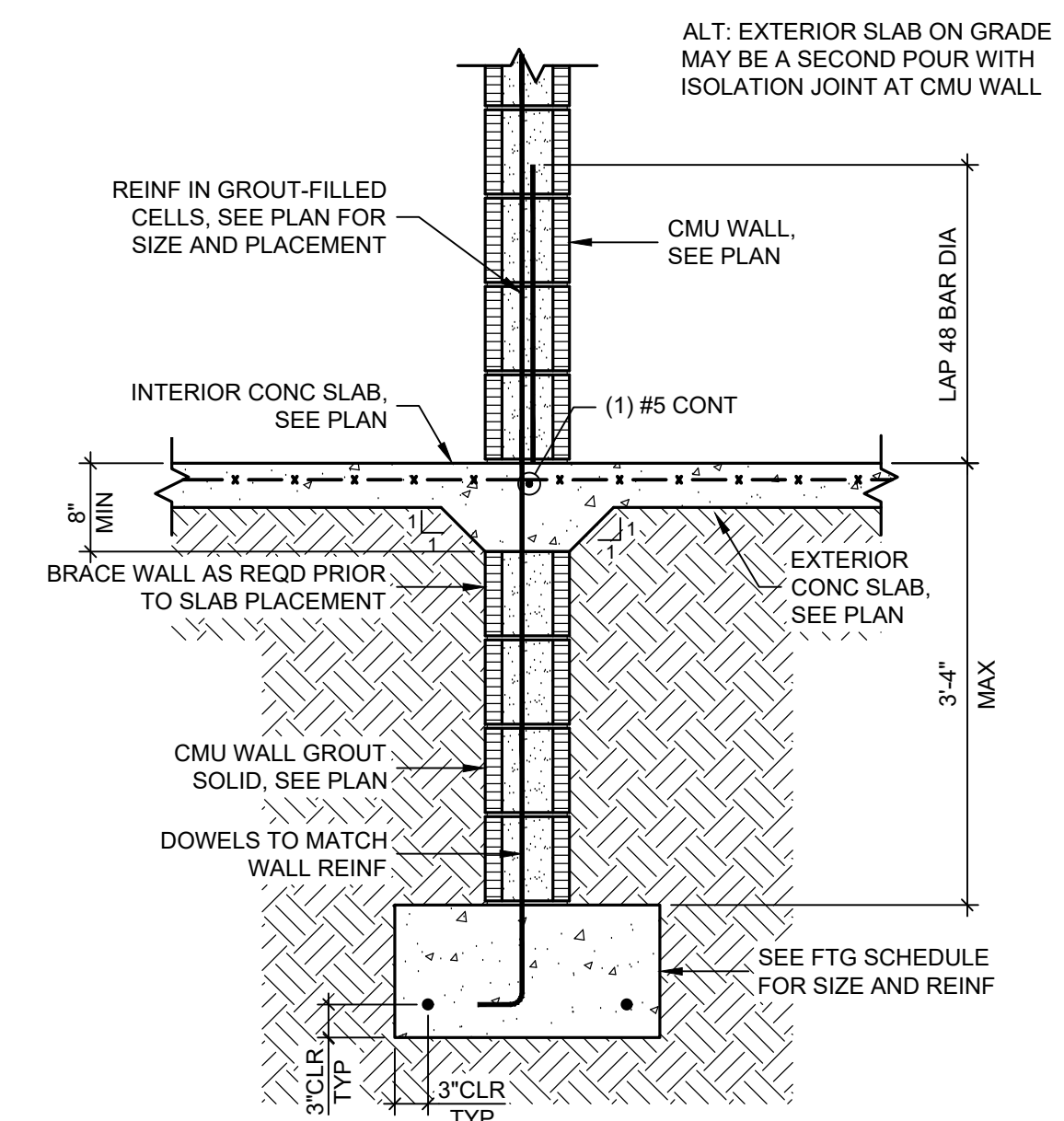
3 TYPICAL CONTROL JOINT
SCALE: 3/4"=1'-0"



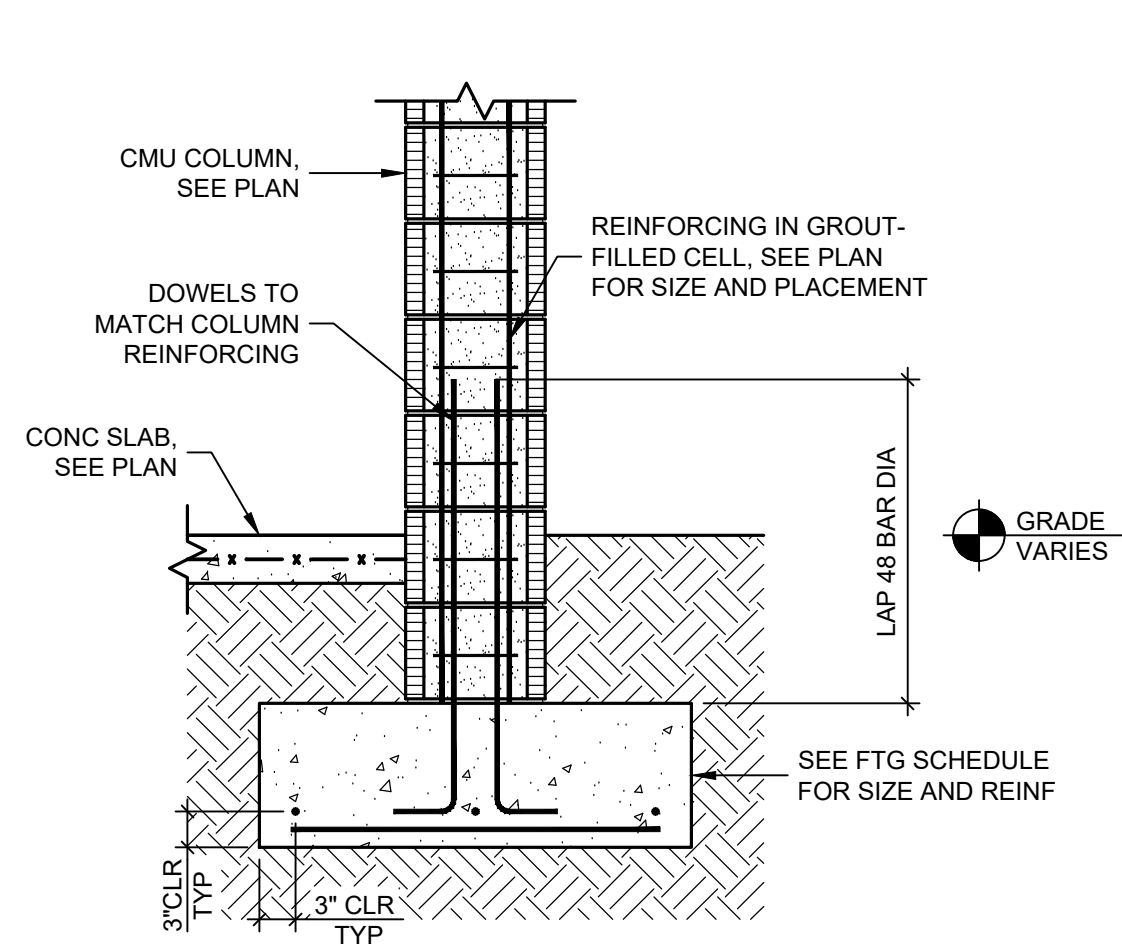
4 TYPICAL THICKENED EDGE AT SLAB ON GRADE
SCALE: 3/4"=1'-0"



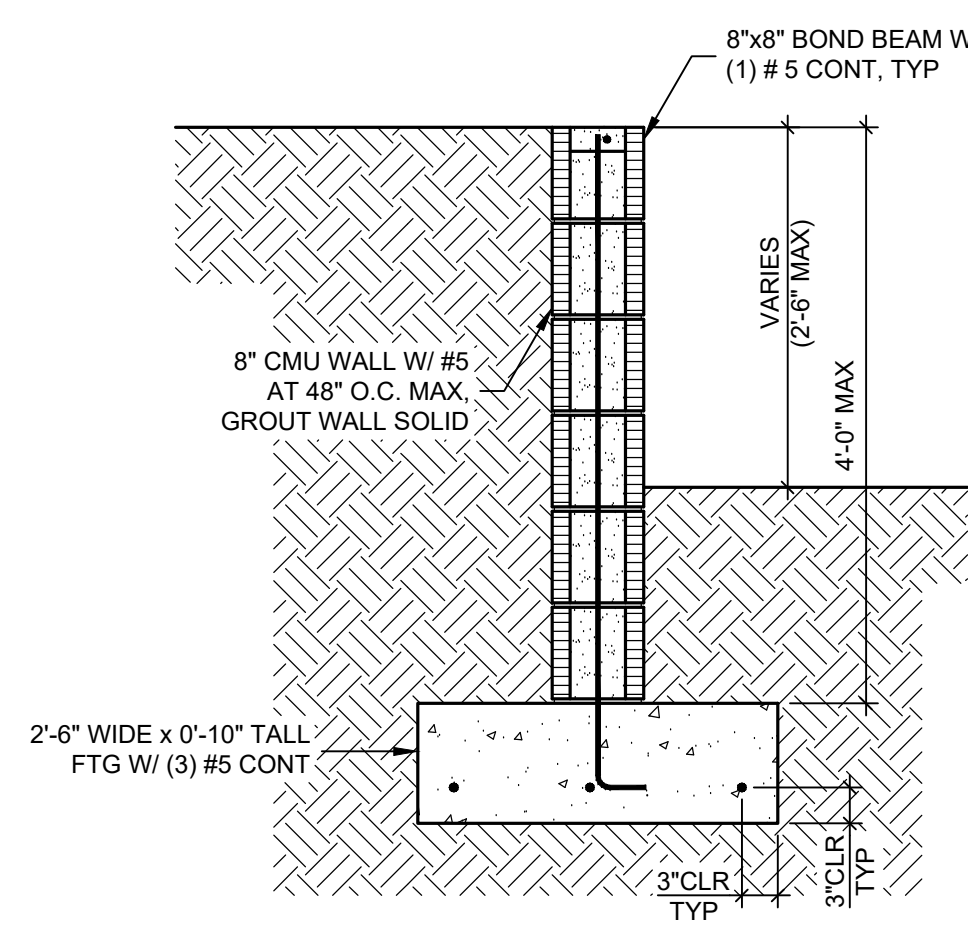
5 TYPICAL STEMWALL FOOTING
SCALE: 3/4"=1'-0"



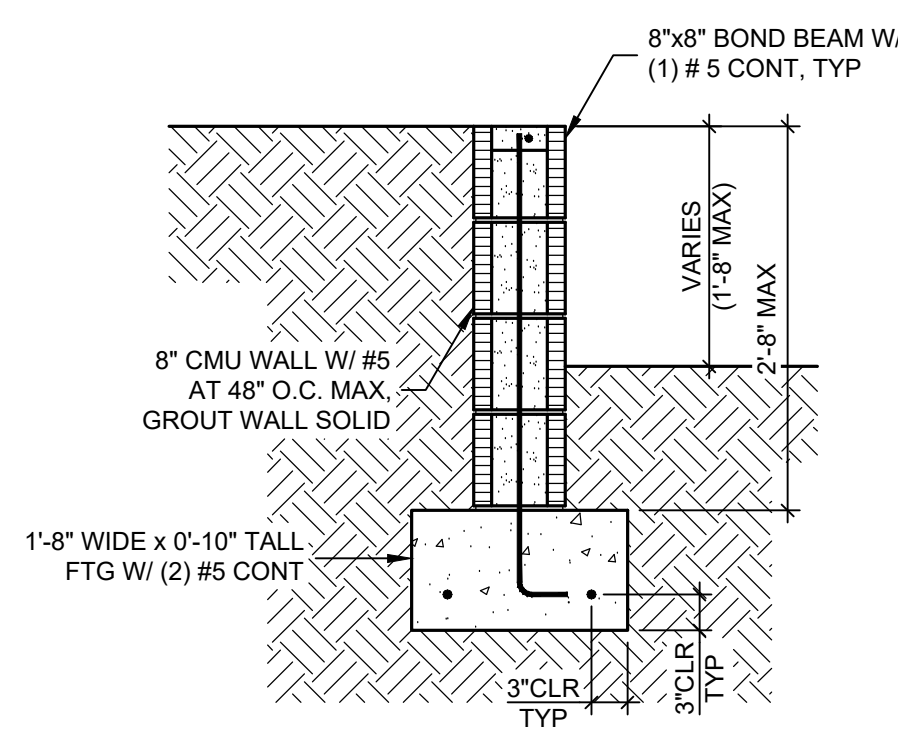
6 TYPICAL STEMWALL FOOTING WITH EXT SLAB
SCALE: 3/4"=1'-0"



7 TYPICAL MASONRY COLUMN DETAIL
SCALE: 3/4"=1'-0"



8 TYPICAL SITE RETAINING WALL
SCALE: 3/4"=1'-0"



9 TYPICAL SITE RETAINING WALL
SCALE: 3/4"=1'-0"

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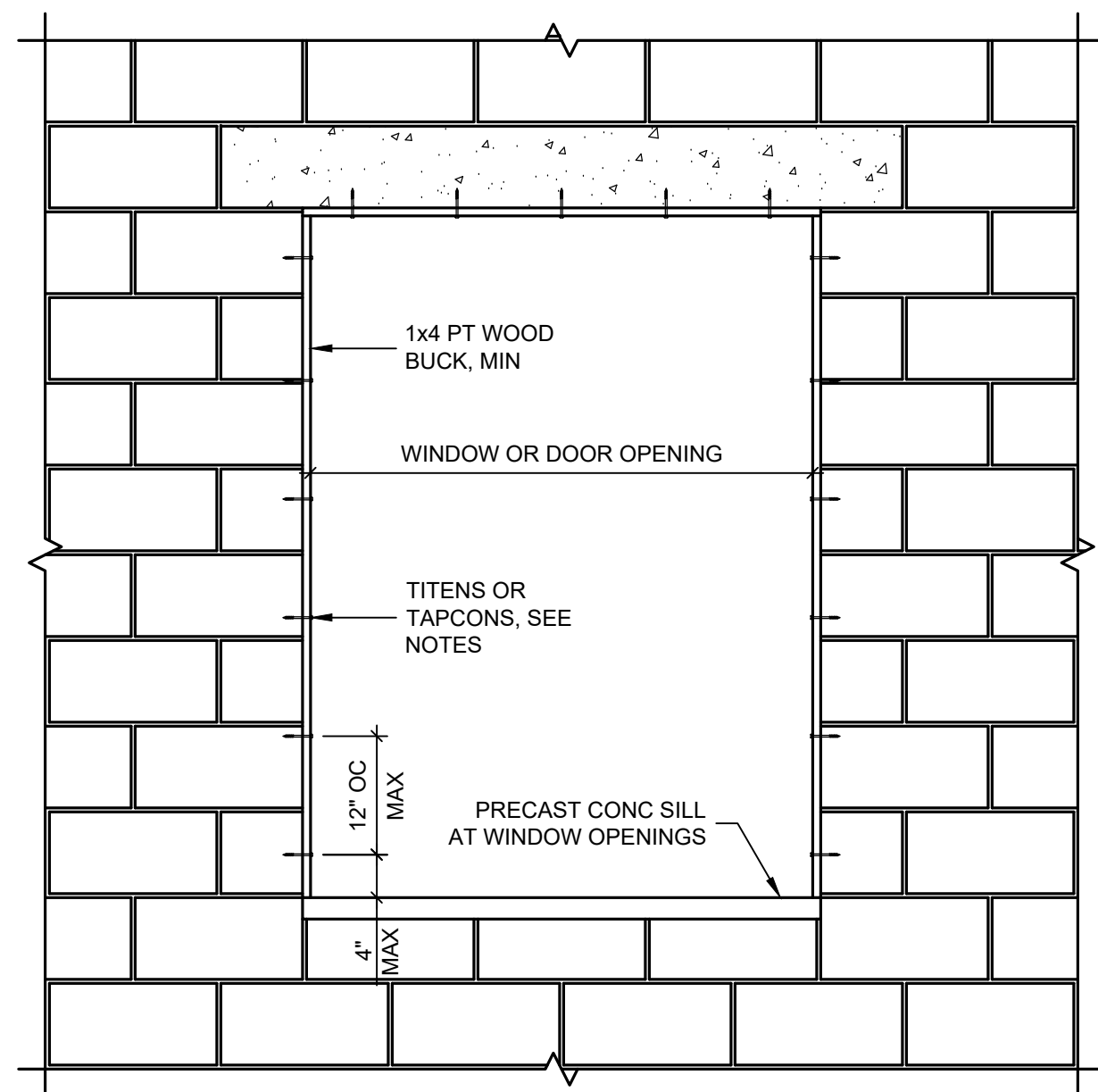
NO.	REVISIONS	DESCRIPTION	DATE
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2	ADD SITE PLAN DIMENSIONS AND FINISHED FLOOR ELEVATIONS		03.25.2021

DRAWN BY:	OQ
CHECKED BY:	RS
DATE:	12.01.2020
JOB NO:	20131

SHEET TITLE:
TYPICAL SECTIONS
AND DETAILS

SHEET:
S3

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1 TYPICAL WINDOW AND DOOR BUCK
SCALE: 3/4"=1'-0"

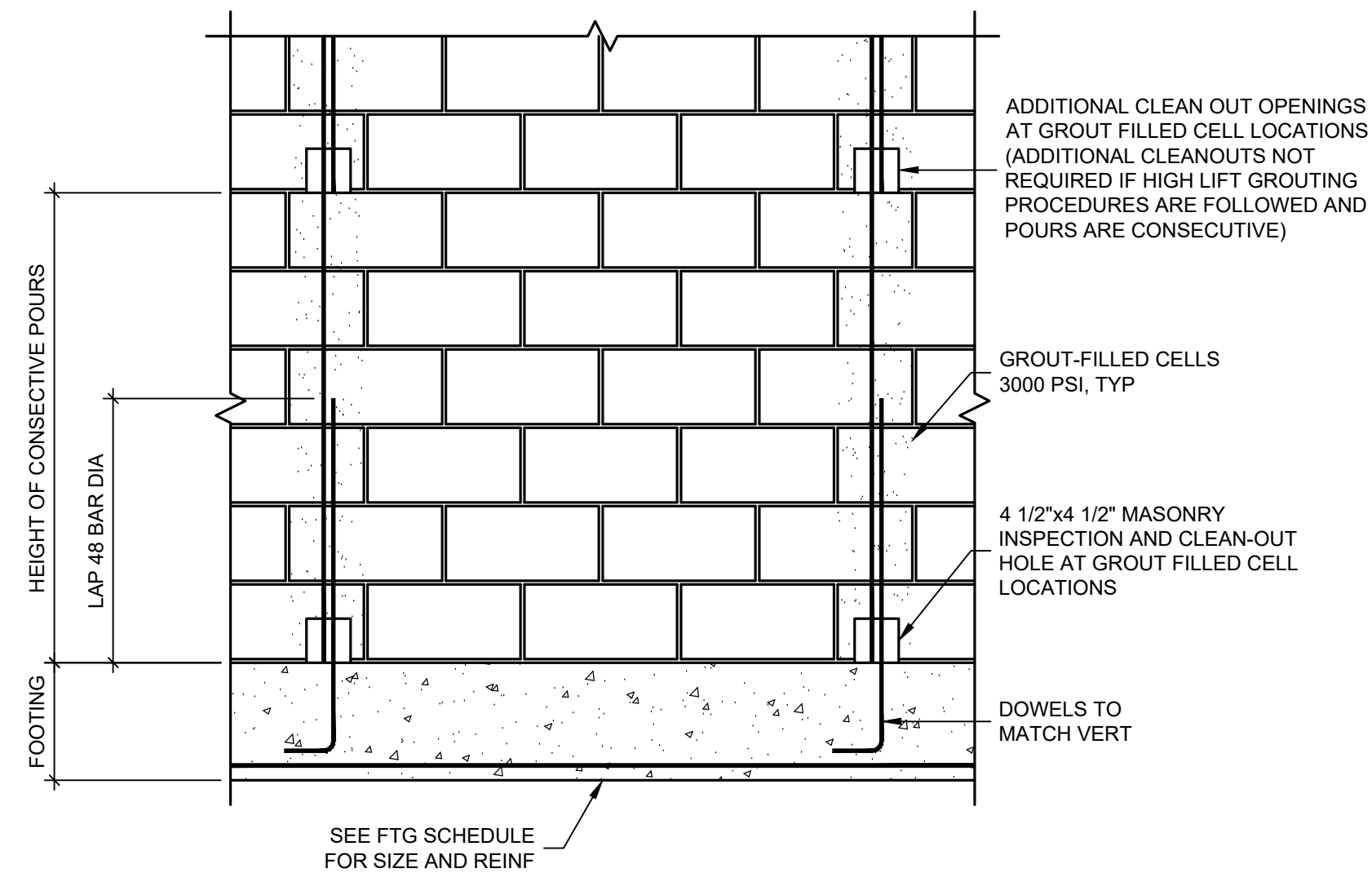
WINDOW FRAME ATTACHMENT:

WOOD BUCK SHALL BE 1x4 MIN ANCHORED TO MASONRY AT 12" O.C. MAX. FASTEN WINDOWS THRU BUCKS TO MASONRY. SEE WINDOW MANUFACTURER INSTALLATION DETAILS FOR MASONRY.

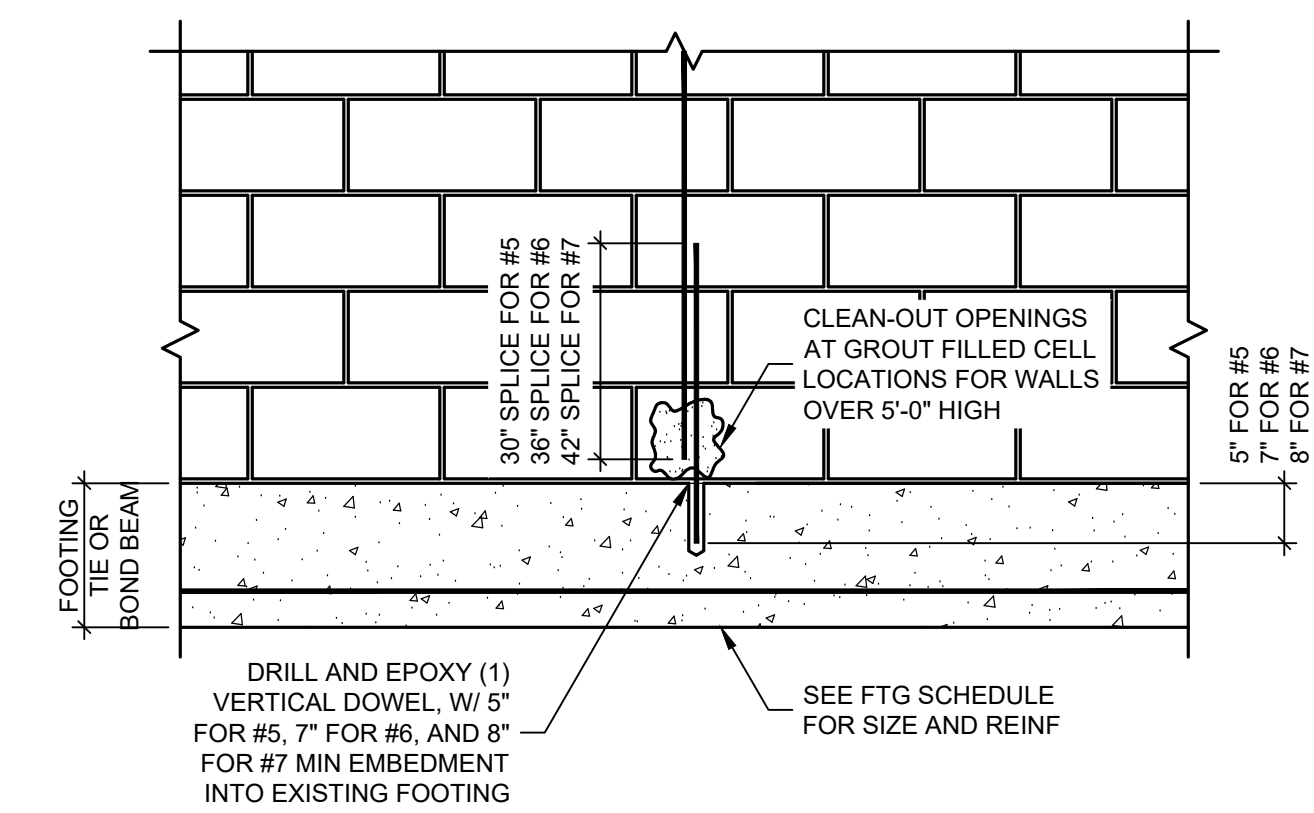
ALTERNATE: FASTEN 2x BUCKS TO MASONRY OPENING W/ TITEN OR TAPCON CONCRETE ANCHORS. FASTEN WINDOW TO 2x BUCK PER MANUFACTURER DETAILS FOR MASONRY.

ALT 1: 2x4 OR GREATER (TO 2 1/4" THK) ANCHOR TO MASONRY W/ 1/4" Ø ANCHORS AT 12" O.C. MAX STAGGERED. PROVIDE 1 1/4" MIN EMBED AND 2" MIN EDGE DISTANCE.

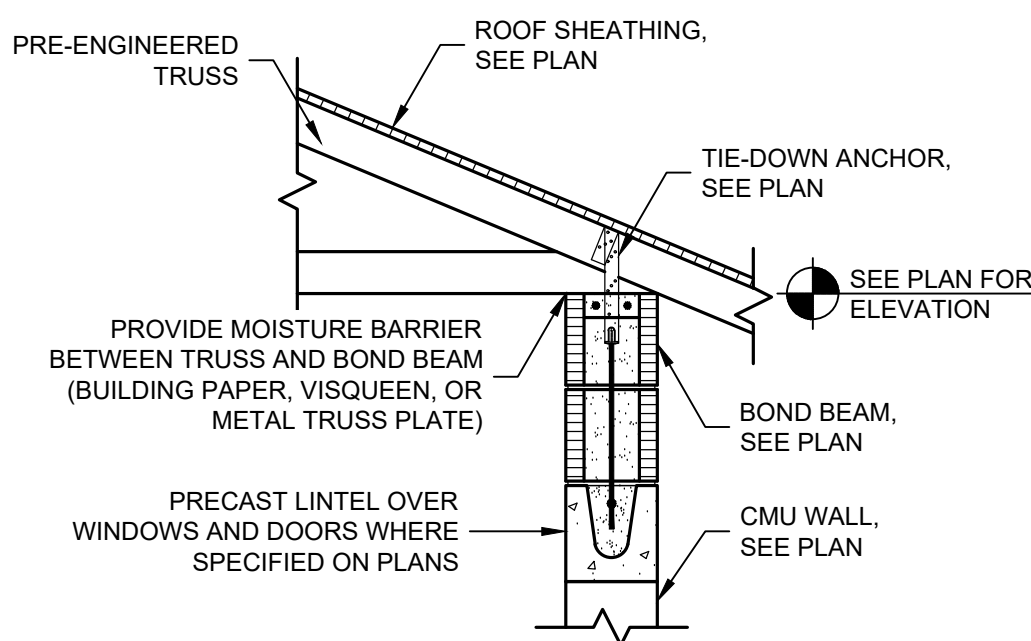
ALT 2: 2x4 OR GREATER (TO 5" THK) ANCHOR TO MASONRY W/ 1/4" Ø ANCHORS AT 12" O.C. MAX STAGGERED. PROVIDE 1 1/4" MIN EMBED AND 2" MIN EDGE DISTANCE.



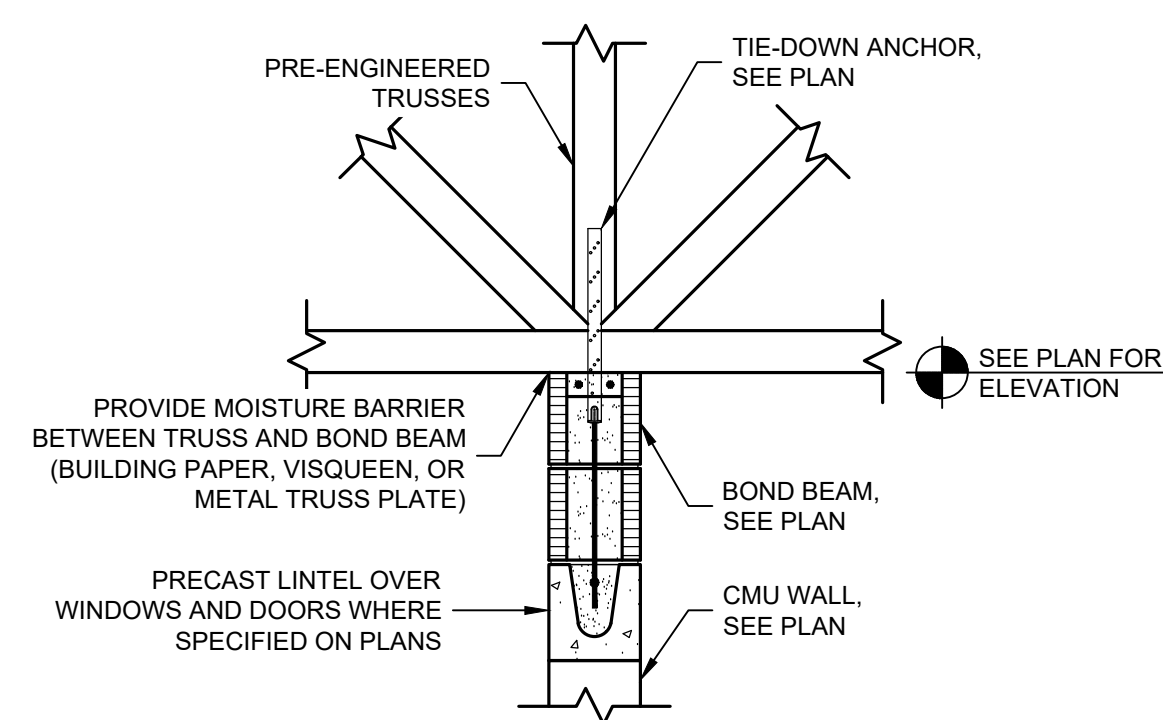
2 TYPICAL MASONRY FILLED CELL
SCALE: 3/4"=1'-0"



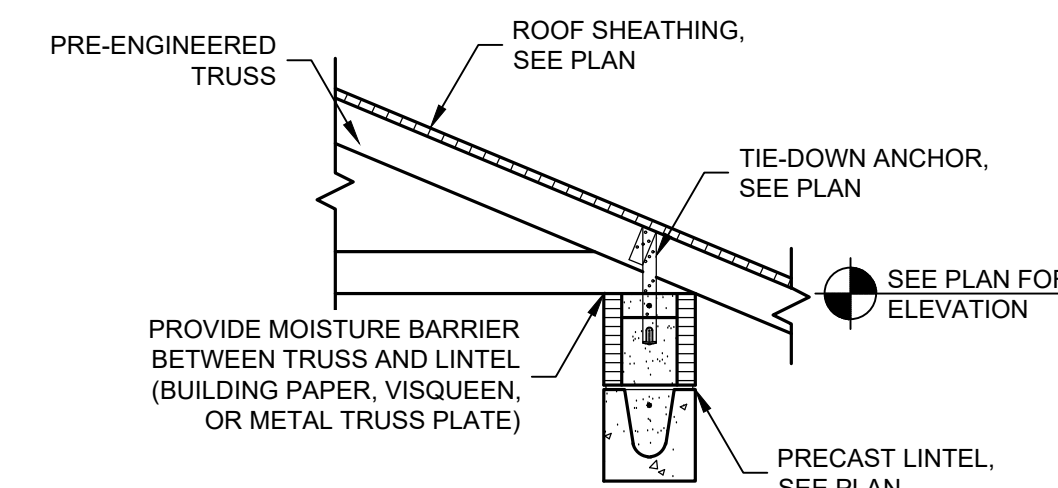
3 TYPICAL DOWEL RETROFIT
SCALE: 3/4"=1'-0"



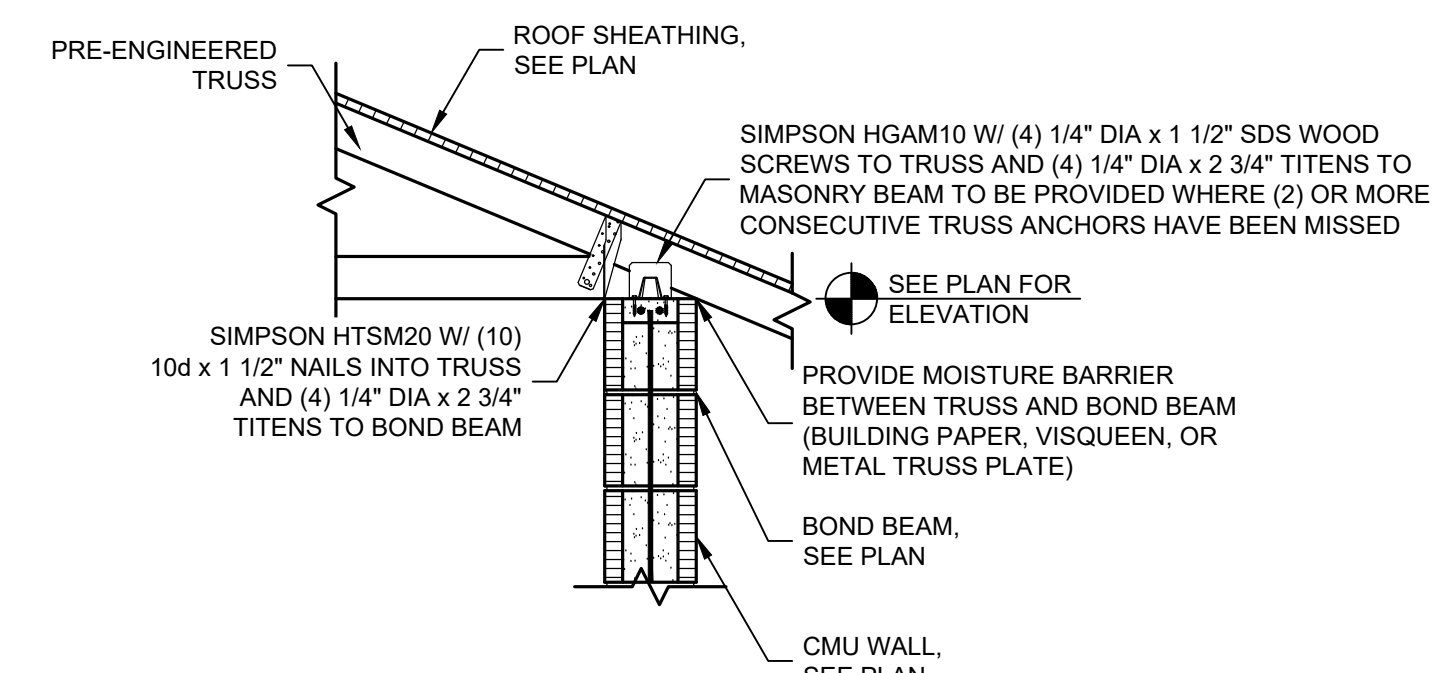
4 TYPICAL BOND BEAM/TRUSS CONN
SCALE: 3/4"=1'-0"



5 TYPICAL BOND BEAM/CONT TRUSS CONN
SCALE: 3/4"=1'-0"

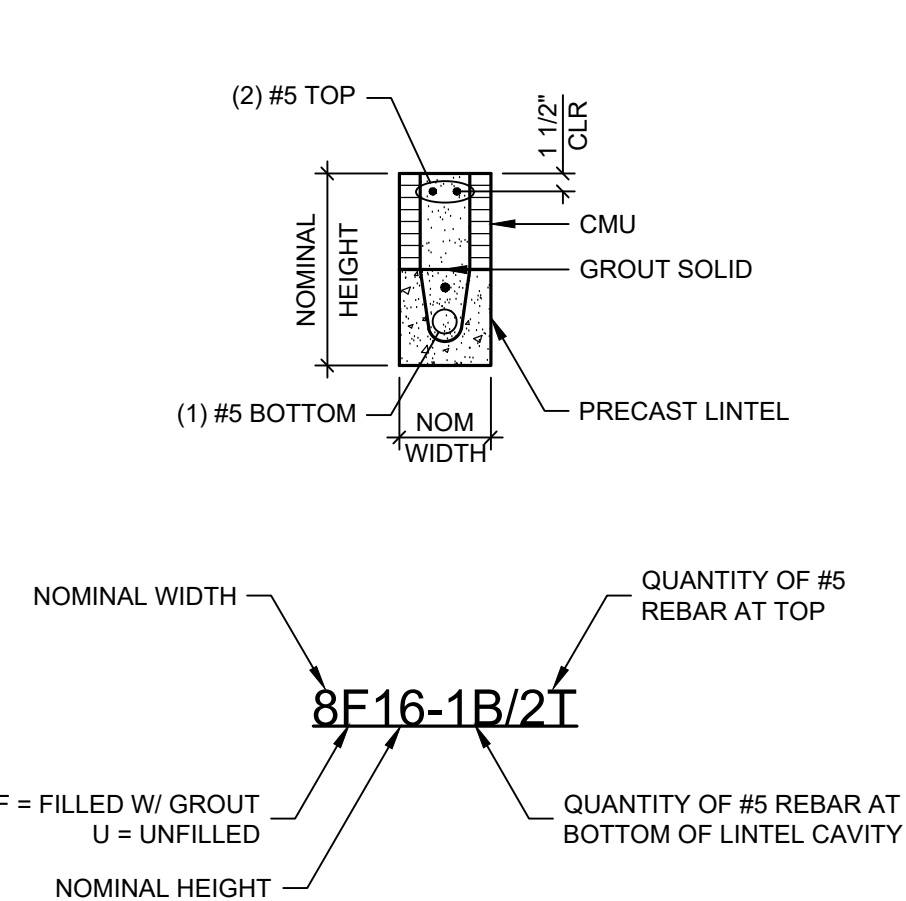


6 TYPICAL PRECAST LINTEL/TRUSS CONN
SCALE: 3/4"=1'-0"

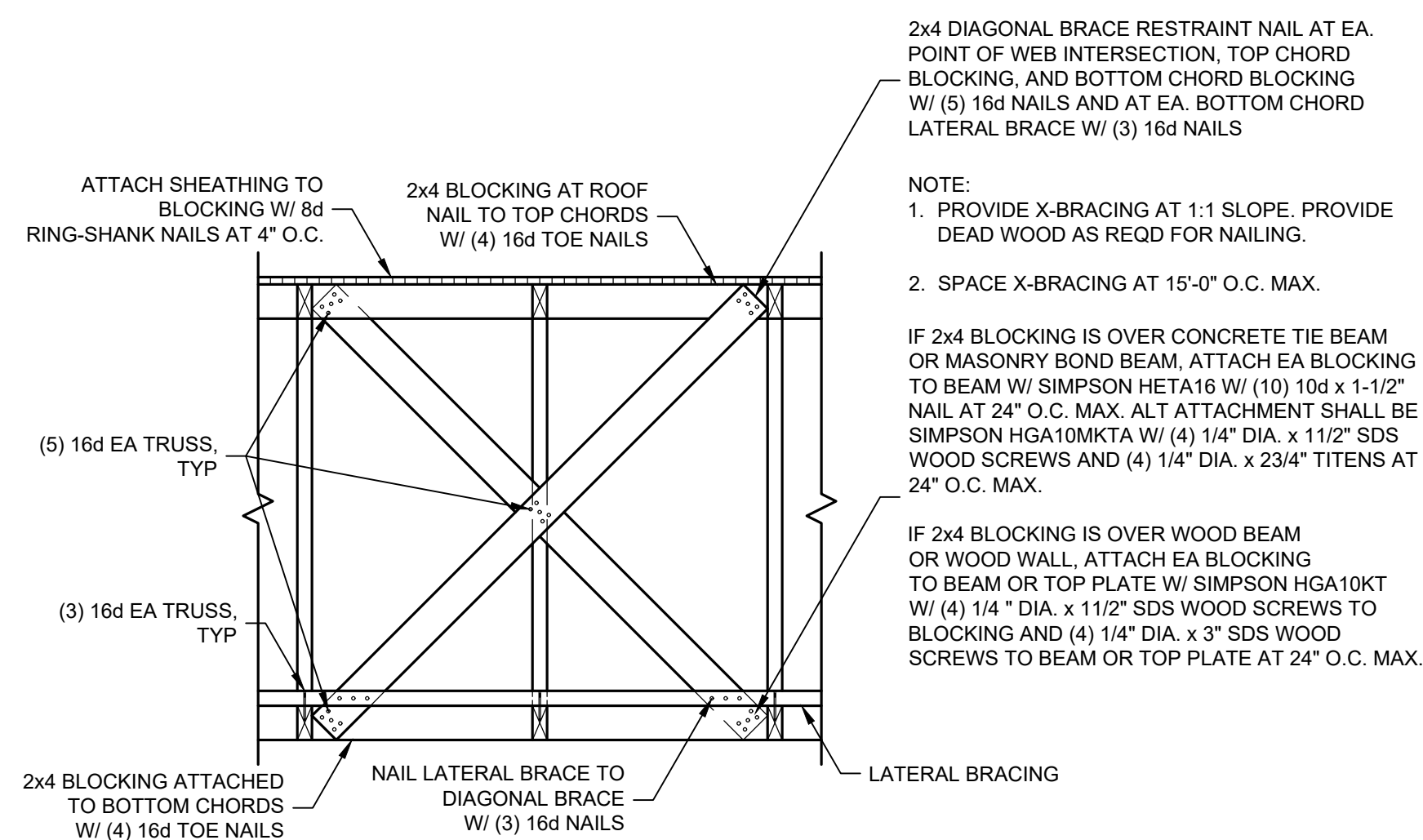


NOTE:
1. TO BE USED WHEN MAXIMUM UPLIFT PER TRUSS IS 1175lb OR LESS. CONTACT ENGINEER IF UPLIFT EXCEEDS 1175lb WHERE RETROFIT REQUIRED.
2. TO BE USED WHEN ANCHOR IS 1 1/2" OR MORE OUT OF ALIGNMENT OR MISSING.
3. WHEN TRUSS ANCHOR IS LESS THAN 1 1/2" OUT OF ALIGNMENT, TRUSS SHIM SHALL BE PROVIDED BY TRUSS ENGINEER.

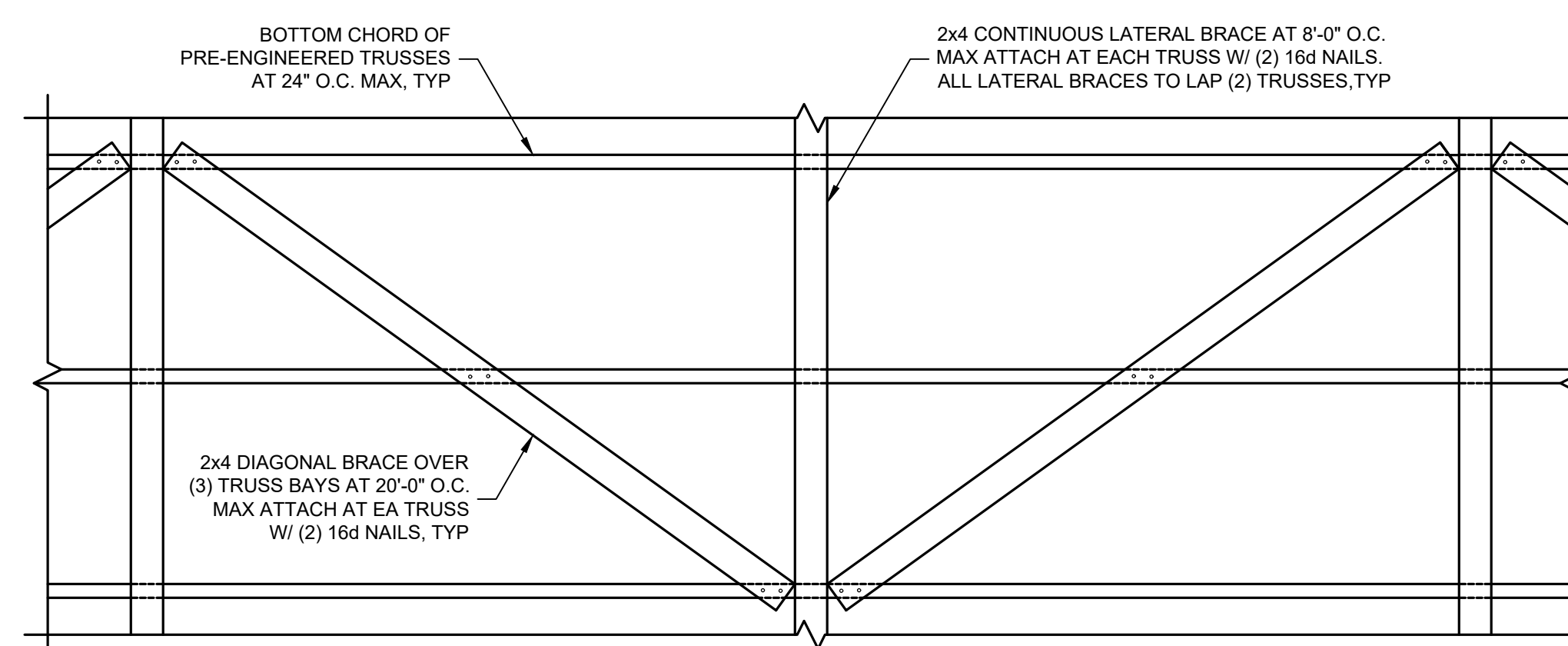
7 TYPICAL MISALIGNED TRUSS ANCHOR
SCALE: 3/4"=1'-0"



8 PRE-CAST LINTEL DESIGNATION
SCALE: 3/4"=1'-0"



9 TYPICAL X-BRACE
SCALE: 3/4"=1'-0"



10 TYPICAL BOTTOM CHORD LATERAL & DIAGONAL BRACING
SCALE: 3/4"=1'-0"

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CHECKED BY:	RS
DATE:	12.01.2020
JOB NO:	20131

SHEET TITLE:
TYPICAL SECTIONS AND DETAILS

SHEET:
S4

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**MEMORANDUM OF UNDERSTANDING BETWEEN COLLIER COUNTY
AND
CYPRESS COVE LANDKEEPERS, INC.**

This Memorandum of Understanding (“MOU”) is entered into this _____ day of _____, 2020 between **COLLIER COUNTY**, a political subdivision of the State of Florida (“COUNTY”) and **CYPRESS COVE LANDKEEPERS, INC.** (“CYPRESS COVE”).

Recitals

WHEREAS, on July 10, 2018 COUNTY acquired the properties identified on Exhibit “A” from The Robert H. Gore III Inter Vivos Trust, dated July 25, 1986, for public use in COUNTY’s Conservation Collier Program (COUNTY’s PROPERTY or DR. ROBERT H. GORE III PRESERVE); and

WHEREAS, on January 28, 2020the County approved the Interim Management Plan for the DR. ROBERT H. GORE III PRESERVE; and

WHEREAS, June 7, 2019 CYPRESS COVE acquired the properties identified on Exhibit “B” from The Robert H. Gore III Inter Vivos Trust, dated July 25, 1986 for public use as nature center (“CYPRESS COVE’s PROPERTY” OR “NATURE CENTER”); and

WHEREAS, the COUNTY and the CYPRESS COVE wish to provide for coordination and cooperation of environmental, educational, and historical outreach information and signage on the properties for the benefit of the citizens of Collier County and others that may visit the properties.

NOW THEREFORE, it is agreed as follows:

1. Authority.

This MOU is entered into pursuant to Conservation Collier Ordinance No. 07-65, as amended (Section 4, Paragraph 12) and the Action Plan set forth in COUNTY’s Interim Management Plan.

2. Duration.

This MOU shall remain in effect until it is terminated in writing by either party upon 30 days written notice to the other party.

3. Effect of Recitals.

The recitals set forth above are adopted as findings of fact and incorporated into this MOU.

4. COUNTY PROPERTY – DR. ROBERT H. GORE III PRESERVE.

- A. The County agrees to use the DR. ROBERT H. GORE III PRESERVE in accordance with the Interim Management Plan, as it may be amended or become a Final Management Plan, as amended (“Management Plan”).
- B. As with all Conservation Collier Property, the Preserve Management Ordinance No. 11-38, as it may be amended or otherwise modified or replaced applies at the DR. ROBERT H. GORE III PRESERVE.
- C. No pets will be permitted in on the COUNTY’s Property unless the Management Plan indicates that pets are allowed.
- D. COUNTY will install a lime-rock parking area on COUNTY’s Property. The need for parking spaces and the number of spaces will be determined by COUNTY and is initially expected to be 5-6 parking spaces.
- E. Events that are to occur on at the DR. ROBERT H. GORE III PRESERVE after dusk will be coordinated with CYPRESS COVE.
- F. CYPRESS COVE employees and volunteers providing services on COUNTY’s Property pursuant to this MOU are not considered agents or employees of COUNTY.
- G. The Interim Management Plan does not allow hunting on COUNTY’s property due to the limited acreage and proximity of adjacent homesites. “No hunting” signs will be installed on COUNTY’s Property. Signs prohibiting trespass, litter, firearms, all-terrain vehicles and poaching will also be installed on COUNTY’s Property,
- H. Signs on COUNTY’s Property will be coordinated with CYPRESS COVE such that signs on COUNTY’s Property and signs on CYPRESS COVE’s Property are consistent in content. CYPRESS COVE and COUNTY will send each other signage for review that includes mention of each other. Use of each party’s logo on signage shall be approved in advance.

5. CYPRESS COVE’s PROPERTY – NATURE CENTER

- A. In the event the NATURE CENTER and/or CYPRESS COVE property is open after dusk, CYPRESS COVE will notify the COUNTY. The intent is for evening events to be limited to reduce traffic for safety of wildlife after dusk.
- B. Gate located to 40th Avenue SE will be locked when Nature Center is not open.
- C. CYPRESS COVE will cooperate with COUNTY regarding any well installation COUNTY decides to pursue.
- D. Signs on CYPRESS COVE’s Property will be coordinated with COUNTY such that signs on CYPRESS COVE’s Property and signs on COUNTY’s Property are consistent in content and appearance.
- E. CYPRESS COVE will coordinate its grand opening celebration with COUNTY.
- F. CYPRESS COVE’s use of the COUNTY’s trails is limited to open hours.
- F.G. The provisions set forth in Section 2.01.03A.9. of the Collier County Land Development Code relating to “Conservation Collier lands” and all “permitted

minor improvements” listed therein shall be applicable to CYPRESS COVE’s
PROPERTY.

DRAFT

6. Indemnification.

Each party to this MOU agrees to be responsible for the liabilities arising out of their own conduct and the conduct of their officers, employees and agents with COUNTY's indemnification subject to Section 768.28, Florida Statutes.

7. Notice.

Any notice sent pursuant to this Memorandum of Understanding shall be sufficient if sent by regular U.S. Mail to the following addresses:

A. COLLIER COUNTY:

CONSERVATION COLLIER COORDINATOR

Golden Gate Community Park

3300 Santa Barbara Blvd.

Naples, FL 34116

ConservationCollier@colliercountyfl.gov

239-252-2961

B. CYPRESS COVE:

CYPRESS COVE LANDKEEPERS, INC.

Attention: Current President

Mailing Address:

PO Box 110308

NAPLES, FL 34108

(239)-308-0281

info@wildnaples.com

8. Amendment.

Any amendment to this MOU or its exhibits shall be in writing and shall not be effective until executed by both parties.

9. Assignment.

In light of the scope and rationale for this MOU, neither party may assign, transfer, or sell any of the rights set forth in this MOU, or associated with this MOU, without the express written consent of the other party.

10. Relationship of the Parties.

No employee of either party shall be deemed an employee of the other party. Nothing in this MOU shall be construed to create an agency relationship, partnership, association, or joint venture between the parties.

IN WITNESS WHEREOF, the parties have executed this MOU as of the date set forth above.

ATTEST:
CRYSTAL K. KINZEL, CLERK

COLLIER COUNTY

, DEPUTY CLERK

By: _____
CHAIRMAN

Approved for form and legality:

Jennifer A. Belpedio
Assistant County Attorney

CYPRESS COVE LANDKEEPERS, INC.

By: _____
Shane Duff
PRESIDENT

DRABE

EXHIBIT "A"

COUNTY'S PROPERTY – DR. ROBERT H. GORE III PRESERVE

Physical Address: 4055 40th Ave SE, Naples, FL 34117

1. PORTION OF GOLDEN GATE EST UNIT 91, GOLDEN GATE EST UNIT 91A, GOLDEN GATE EST UNIT 92, AND GOLDEN GATE EST UNIT 92A AS DESC IN OR 5573 PG 688, AND GOLDEN GATE EST UNIT 91 N 150FT OF TR 76, LESS GOLDEN GATE EST UNIT 92 TR 84, LESS GOLDEN GATE EST UNIT 92 W 180FT OF TR 86, LESS GOLDEN GATE EST UNIT 91, N 150FT OF TR 74 GOLDEN GATE ESTATES, PLAT BOOK 5, PAGES 30-31 OF THE PUBLIC RECORDS OF COLLIER COUNTY, FLORIDA.
TAX IDENTIFICATION NUMBER: 41500040008 (160.46 acres)
2. GOLDEN GATE EST UNIT 91 N 150FT OF TR 74. GOLDEN GATE ESTATES, PLAT BOOK 5, PAGE 30 OF THE PUBLIC RECORDS OF COLLIER COUNTY, FLORIDA. TAX IDENTIFICATION NUMBER: 41506600002 (2.34 acres)
3. GOLDEN GATE EST UNIT 92 TR 84. GOLDEN GATE ESTATES, PLAT BOOK 5, PAGE 31 OF THE PUBLIC RECORDS OF COLLIER COUNTY, FLORIDA.
TAX IDENTIFICATION NUMBER: 41616920009 (5.68 acres)
4. GOLDEN GATE EST UNIT 92 W 180FT OF TR 86 OR 1836 PG 276. GOLDEN GATE ESTATES, PLAT BOOK 5, PAGE 30 OF THE PUBLIC RECORDS OF COLLIER COUNTY, FLORIDA. TAX IDENTIFICATION NUMBER: 41617120002 (2.73 acres)

APPROXIMATELY 171.2 ACRES COMBINED

EXHIBIT "B"

CYPRESS COVE's PROPERTY – NATURE CENTER

Physical Address: 4261 40th Ave. SE, Naples, FL 34117

ALL OF TRACT 15 and TRACT 18, UNIT 91, GOLDEN GATE ESTATES, PLAT BOOK 5, PAGE 30 OF THE PUBLIC RECORDS OF COLLIER COUNTY, FLORIDA.

TAX IDENTIFICATION NUMBER: 41501440005 (10.00 acres)